



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: December 5, 2019 REPORT NO. PC-19-105
HEARING DATE: December 12, 2019
SUBJECT: FROUDE RESIDENCES – Process 5 Decision
PROJECT NUMBER: [604010](#)
OWNER/APPLICANT: RICHARD HARMON/STEIR ARCHITECTS

SUMMARY

Issue: Should the Planning Commission recommend approval to the City Council of an application to allow the demolition of a single-dwelling unit and the development of two new, two-story residences on two legal lots on a 0.21-acre site located at 1750 Froude Street within the Ocean Beach Community Plan area?

Staff Recommendations:

1. Recommend the City Council **ADOPT** the resolution of the CEQA Exemption
2. Recommend the City Council **APPROVE** Tentative Map No. 2167006
3. Recommend the City Council **APPROVE** Coastal Development Permit No. 2155137
4. Recommend the City Council **APPROVE** Site Development Permit No. 2258152
5. Recommend the City Council **APPROVE** Easement Vacation No. 2363368

Community Planning Group Recommendation: On September 5, 2018, the Ocean Beach Community Planning Group voted 9-0-1 to recommend approval of the project with no conditions (Attachment 9).

Environmental Review: The project has been reviewed pursuant to the California Environmental Quality Act (CEQA) and the Development Services Department has determined that the project qualifies for categorical exemptions pursuant to CEQA Guidelines Sections 15301 (Existing Facilities), 15303 (New Construction or Conversion of Small Structures), 15305 (Minor Alterations in Land Use Limitations), and 15315 (Minor Divisions). The decision on the environmental determination will be made by the City

Council at a future public hearing. (Attachment Number 8)

Fiscal Impact Statement: All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The Ocean Beach Community Plan and Local Coastal Program designates the project for Low-Medium Density Residential (10-14 units/net acre), which allows for the development of two new single dwelling units on a 0.21-acre site. Approval of the project would allow a net gain of the housing stock in the Ocean Beach Community Plan.

BACKGROUND

The 0.21-acre project site is located at 1750 Froude Street, on the corner of Froude Street and Del Monte Avenue, approximately 1.12 miles south of Interstate 8 and 0.01 miles east of the Ocean Beach Tide Pools. The site is comprised of four existing lots with frontages on Froude Street and Del Monte Avenue and is currently developed with one single-dwelling unit constructed in 1947. The site is not located in a designated historic district and City staff determined the existing structure is not a significant historical resource.

Surrounding development includes single-dwelling units to the east and multi-dwelling units in all other directions. Further west, there are commercial uses (such as the Olive Tree Market) and the Ocean Beach Recreation Center. The site is in a developed, urban, residential neighborhood with mostly multi-family uses.

The Ocean Beach Community Plan and Local Coastal Program designates the site for Low-Medium Density Residential (10-14 units per acre), or one to two units on the project site. The site is zoned RM-1-1 (Residential-Multiple Unit) in all directions. Surrounding zones include RS-1-7 for single-family zoning to the east of the property, and CC-4-2 for heavy commercial uses and residential uses to the west. The site is located in the Airport Influence Area, Coastal Height Limit, Coastal (Non-Appealable Area 1), Parking Impact Area (Transit Priority) Overlay Zones.

The site is relatively flat, with elevations of approximately 126 to 139 feet above mean sea level (AMSL). The site is not located within or adjacent to the City's Multiple Habitat Planning Area (MHPA) and does not contain Environmentally Sensitive Lands (ESL).

DISCUSSION

Project Description:

The proposed project requests a Site Development Permit, Easement Vacation, Coastal Development Permit and Tentative Map to demolish an existing single-dwelling unit, to request the consolidation of four existing lots and subdivide into two legal lots, to construct two new, two story single-family residences, and to vacate an existing four-foot-wide sewer, water and drainage easement for a small-lot subdivision.

The "Proposed Residence 1" would be approximately 3,309 square feet (including the 475-square-foot basement/garage). The "Proposed Residence 2" would be approximately 3,050 square feet, including a 216-square-foot basement/garage. The lots would be 4,135 and 4,844 square feet in size and would be developed with ministerial building permits after project approval in accordance with RM-1-1 zone requirements. The proposed project will maintain the view corridor along Del Monte Avenue, and the existing landscaping along the frontages will remain the same.



Vehicular access from Del Monte Avenue will be provided for both structures via driveway and access easement. A Mutual Maintenance and Access Agreement in favor of all parcels within the project site will be required at the time of ministerial permits for the shared access easement. A Declaration of Covenants and Reservation of Easements for the cross-lot drainage easement for the two lots will be required. The project includes internal project landscaping and landscaping of the public right of way along Froude Street and Del Monte Avenue.

The project will require an Encroachment Maintenance Removal Agreement for all existing and proposed improvements, including utilities, landscaping, decorative rocks/paving, and electrical conduits to be installed within the Froude Street and Del Monte Avenue rights-of-way.



Small lot subdivisions are permitted in the RM-1-1 zone with a Site Development Permit. Such subdivisions are to be consistent with the density of the zone. This subdivision would result in two lot areas, which is consistent with the zone allowance of one dwelling unit for each lot area. The density of the site would be 14 du/acre, consistent with the land use designation. Both lots would front on and take pedestrian access from the existing, developed right of way of Froude Street.

Required Approvals/Project-Issues

- Coastal Development Permit (CDP) – In accordance with Section SDMC [126.0707\(a\)](#), a Process Two CDP is required for the proposed development as the site is located in the Coastal Overlay Zone (Attachment 11)
- Tentative Map (TM) and Easement Vacation (EV) – In accordance with SDMC Sections [125.0430](#) and [125.1030\(a\)](#), a Process Three Tentative Map is required for the consolidation and subdivision of four lots into two legal lots to allow the construction of two new, two story single-dwelling units. An Easement Vacation is noted on the tentative map to vacate a non-utilized, four-foot-wide sewer, water, and drainage easement. Easement Vacations via tentative maps are decided according to Process Five. (Attachment 11)
- Site Development Permit (SDP) – In accordance with SDMC Sections [126.0502\(b\)\(4\)](#) and [143.0365](#), a Process Three SDP is required for a small lot subdivision. The supplemental SDP regulations allow the lot size of under 6,000 square feet (the minimum lot size for the RM-1-1 zone) provided that the density is consistent with the zone and the community plan designation. The RM-1-1 zone allows a density of one unit per 3,000 square feet of lot area. (Attachment 11)
- Pursuant to [SDMC 112.0103](#), all the above approvals are consolidated and processed according to Process Five, with the City Council as the decision maker. (Attachment 11)

Community Plan Analysis:

Land Use & Density:

The proposed project would create two-single family homes and is consistent with the goals and policies of the General Plan and Ocean Beach Community Plan. The proposed site is designated in the General Plan as Residential and has a Community Plan land use designation of Low-Medium Density Residential, with a density range of 10-14 dwelling units per net acre.

Mobility:

Improving mobility through development of a balanced, multi-modal transportation network is the purpose of the Mobility Element of the Ocean Beach Community Plan. The plan contains several goals and policies to this end, including goals related to walkable communities and parking management. The City of San Diego General Plan Mobility Element also contains several policies that call for greater walkability achieved through pedestrian friendly street, site and building design. The project retains all of the street trees that help provide shade for a comfortable pedestrian environment and encourage walking as a viable choice for trips in the community. The proposed project also includes two parking spaces per unit (4 total), which will help manage demand of on-street parking within the community. The proposed project is consistent with the mobility element of the Ocean Beach Community Plan.

Urban Design:

The recommendations contained in the Urban Design Element of the Ocean Beach Community Plan are intended to provide guidance that ensures new construction relates in a compatible way to complement and coordinate with surrounding structures. The architectural design (including bulk and scale, fenestration, roof, and materials) is consistent with the single-family homes directly adjacent to the proposed project site and throughout the community.

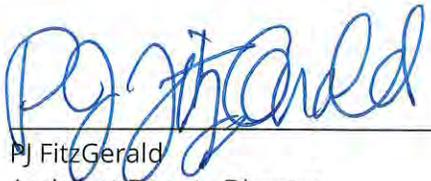
Conclusion:

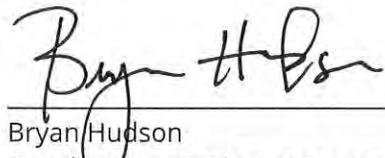
City staff has reviewed the proposed project, and all issues identified through the review process have been resolved in conformance with adopted City Council policies, the Ocean Beach Community Plan and Local Coastal Program, the General Plan, and the regulations of the Land Development Code. Staff has provided draft findings and draft conditions of approval to support the proposed project. Therefore, staff recommends that Planning Commission recommend that the City Council approve the project.

ALTERNATIVES

1. Recommend approval of Tentative Map No. 2167006, Site Development Permit No. 2258152, Easement Vacation No. 2363368, Coastal Development Permit No. 2155137, and resolution of the CEQA Exemption, with modifications.
2. Recommend denial of Tentative Map No. 2167006, Site Development Permit No. 2258152, Easement Vacation No. 2363368, Coastal Development Permit No. 2155137, and resolution of the CEQA Exemption, if the findings required to approve the project cannot be affirmed.

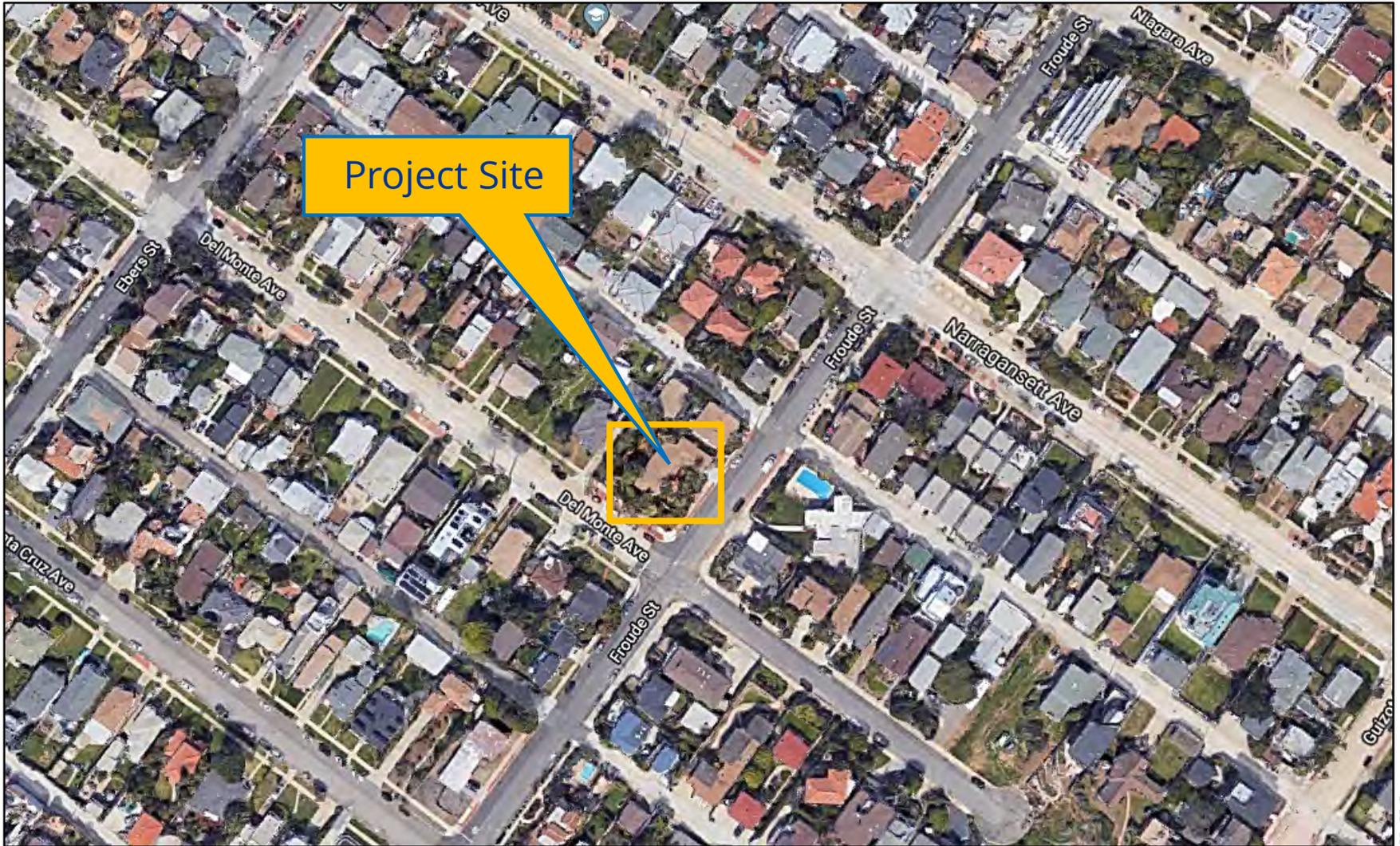
Respectfully submitted,


PJ Fitzgerald
Assistant Deputy Director
Development Services Department


Bryan Hudson
Development Project Manager
Development Services Department

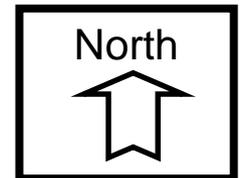
Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Map Resolution with Findings
7. Draft Map Conditions
8. CEQA Resolution
9. Community Planning Group Recommendations
10. Ownership Disclosure Statement
11. Project Site Plan(s)



Aerial Photo

Froude Residence CDP SDP TM / 1750 Froude Street
PROJECT NO. 604010

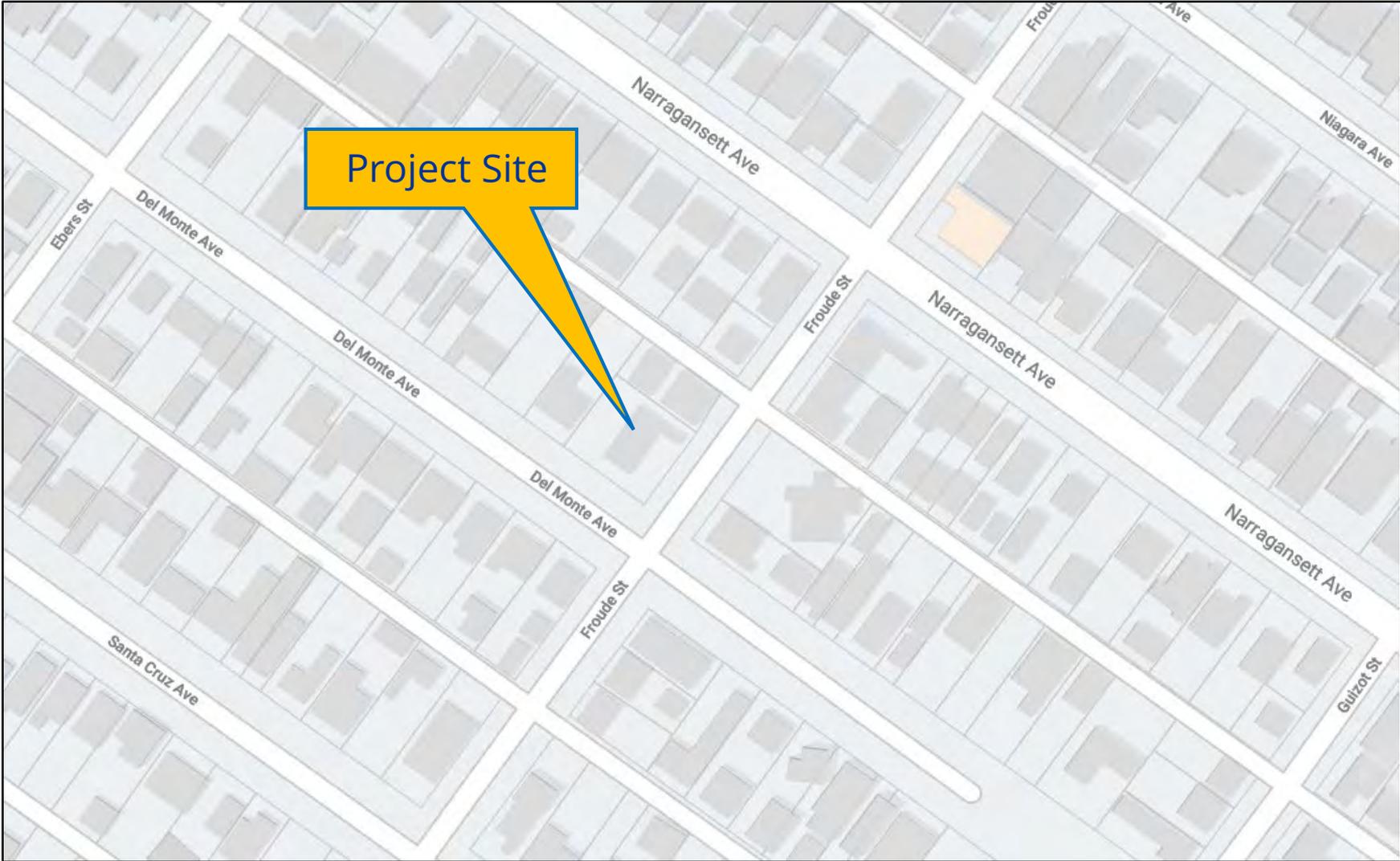




Land Use Map

Froude Residence CDP SDP TM / 1750 Froude Street
PROJECT NO. 604010



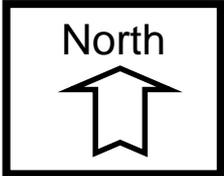


Project Site



Project Location Map

Froude Residence CDP SDP TM / 1750 Froude Street
PROJECT NO. 604010



CITY COUNCIL
RESOLUTION NO.
COASTAL DEVELOPMENT PERMIT NO. 2155137
SITE DEVELOPMENT PERMIT NO. 2258152
FROUDE RESIDENCES – PROJECT NUMBER 604010

WHEREAS, Richard Harmon, Owner/Permittee, filed an application with the City of San Diego for Coastal Development Permit No. 2155137 and Site Development Permit No. 2258152 to demolish an existing single-dwelling unit, consolidate and subdivide four existing lots into two legal lots for the construction of two new, two-story single-dwelling units, to vacate a portion of an existing four-foot wide sewer, water and drainage easement and to waive the requirement to underground existing off-site overhead utilities on a 0.21-acre site, known as the Froude Residences (Project), located at 1750 Froude Street, which is legally described as Lot 21, 22, 23 and 24 in Block 22 of Ocean Beach, in the City of San Diego, County of San Diego, State of California, per Map thereof 279, filed in the Office of San Diego County Recorder on May 28, 1887; excepting therefrom the Northeasterly 50' thereof, in the Ocean Beach Community Plan area, in the RM-1-1 zone; and

WHEREAS, on December 12, 2019, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 2155137 and Site Development Permit No. 2258152 and pursuant to Resolution No. ____-PC voted to recommend that City Council approve the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED by the Council of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2155137 and Site Development Permit No. 2258152:

Findings for Coastal Development Permit - SDMC Section 126.0708:

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.21-acre site is located at 1750 Froude Street on a corner lot with one existing single-dwelling unit. The project will demolish the existing dwelling unit, consolidate and subdivide four existing lots into two legal lots, construct two new, two story single-family residences, and vacate an existing four-foot-wide sewer easement. The "Proposed Residence 1" would be approximately 3,309 square feet (including the 475-square-foot basement/garage) and the "Proposed Residence 2" would be approximately 3,050 square feet (including a 216-square-foot basement/garage).

The site is located 0.11 miles from the Pacific Ocean and is surrounded with existing residential development. The proposed project will maintain the view corridor along Del Monte Avenue, and the existing landscaping along the frontages will remain the same. The project will require an Encroachment and Maintenance Removal Agreement (EMRA) for all existing and proposed improvements, including utilities, landscaping, decorative rocks/paving, and electrical conduits to be installed within the Froude Street and Del Monte Avenue rights-of-way.

The Local Coastal Program does not identify the project site as within or adjacent to any existing or proposed public accessways. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The 0.21-acre site is located at 1750 Froude Street on a corner lot with one existing single-dwelling unit. The project will demolish the existing dwelling unit, consolidate and subdivide four existing lots into two legal lots, and construct two new, two story single-family residences, vacating an existing four-foot-wide sewer easement. The site does not contain, nor is it adjacent to, any Environmentally Sensitive Lands (ESL), Multi-Habitat Planning Area (MHPA) lands or wetlands. The project is located in a developed neighborhood and is surrounded by development on all sides with multi-family development.

A resolution of exemption has been prepared for this project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. The project was determined to be categorically exempt from CEQA pursuant to CEQA Guidelines Sections 15301 (Existing Facilities), 15303 (New Construction or Conversion of Small Structures), 15305 (Minor Alterations in Land Use Limitations), and 15315 (Minor Divisions).

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The 0.21-acre project site is located at 1750 Froude Street and is developed with one existing residential unit. The Ocean Beach Community Plan and Local Coastal Program designates the site for Low-Medium Density Residential at a rate of 10-14 units per acre (du/ac). The site is currently zoned RM-1-1, which allows only one dwelling unit for each 3,000 square feet of lot area. The proposed site is designated in the General Plan as Residential, consistent with the proposed two single-dwelling units.

The proposed demolition of the existing single-dwelling residence has been designed to conform with the certified Local Coastal Program. Further, the project is consistent with the recommended residential land use, design guidelines, and development standards in effect for this site per the adopted Ocean Beach Community Plan and Local Coastal Program and the City of San Diego Progress Guide and General Plan. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.21-acre site is located at 1750 Froude Street and is developed within an urbanized area of the Ocean Beach Community Plan and Local Coastal Program. The Ocean Beach Pier and Ocean Beach Tide Pools are located immediately south of the property, which is 0.11 miles from the Pacific Ocean. This project is not located between the nearest public road and the sea or any body of water and therefore, the project complies with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Findings for Site Development Permit 126.0505:**1. The proposed development will not adversely affect the applicable land use plan;**

The 0.21-acre site is located at 1750 Froude Street on a corner lot with one existing single-dwelling unit. The project will demolish the existing dwelling unit, consolidate and subdivide four existing lots into two legal lots, and construct two new, two story single-family residences, vacating an existing four-foot-wide sewer easement. The existing improvements have been evaluated and determined to not be a historic resource. Surrounding developments include single-dwelling units and multi-family residences to the north and northwest, and multi-family residences and commercial to the southwest.

The Ocean Beach Community Plan and Local Coastal Program designates the site for Low-Medium Density Residential, which provides for both single-family and multi-family housing at the rate of 10-14 units per acre, on 1-2 units allowed onsite. The site is currently zoned RM-1-1, which allows one dwelling unit on existing lot for each 3,000 square feet of lot area. The proposed site is designated in the General Plan as Residential, consistent with the proposed two single-dwelling units. Therefore, the proposed project will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The permit controlling the development and continued use of the site contains specific conditions addressing compliance with the City's codes, policies, and regulations, as well as other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Prior to issuance of any building permit for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements in addition to all associated conditions of approval.

The proposed subdivision will include the construction of a new 20-foot driveway per City standards, adjacent to the site on Del Monte Avenue. A Declaration of Covenants and a Reservation of Easements for the cross-lot drainage easement for the two lots, will be required. A Mutual Access Agreement will be required for the new shared access from Del Monte Avenue. An Encroachment Maintenance and Removal Agreement for the removal of existing driveways, and replacement of curb, gutter and sidewalk, adjacent to Froude Street.

The project would not result in risk from fire hazards because it is surrounded by existing development and is not located within a fire hazard severity zone. The project would not expose the public to undue geologic hazards because no known active faults traverse the project site, as confirmed by the Geotechnical Investigation that was prepared for the project. A resolution has been prepared for this project in accordance with CEQA guidelines. The project has been reviewed pursuant to the California Environmental Quality Act (CEQA) and has been determined by Development Services Department that the project qualifies for a categorical exemption pursuant to CEQA Guidelines Sections 15301 (Existing Facilities), 15303 (New Construction or Conversion of Small Structures), 15305 (Minor Alterations in Land Use Limitations), and 15315 (Minor Divisions).

Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The 0.21-acre site is located at 1750 Froude Street, the property is zoned RM-1-1 and is designated Low-Medium Density Residential at a rate of 10-14 units per acre (du/ac) in the Ocean Beach Community Plan and Local Coastal Program.

The project complies with the requirements of the RM-1-1 zone as modified by the Supplemental Site Development Permit (SDP) Regulations for Small Lot Subdivisions (SDMC 143.0365), as well as the requirements for the Tentative Maps (SDMC 125.0410 and 125.0430). The Supplemental SDP regulations allow the lot size of under 6,000 square feet (the minimum lot size for the RM-1-1 zone) provided that the density is consistent with the zone and the Community Plan and Local Coastal Program designation. The RM-1-1 zone requires a minimum of 3,000 square feet of area per dwelling unit, which this project satisfies, and the density will be 14.3 du/ac, which is within the Community Plan and Local Coastal Program designated range. No deviations are requested. Therefore, the proposed development will comply with the regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Coastal Development Permit No. 2155137 and Site Development Permit No. 2258152 is hereby GRANTED by the City Council to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2155137 and Site Development Permit No. 2258152, a copy of which is attached hereto and made a part hereof.

Bryan Hudson
Development Project Manager
Development Services

Adopted on: **DATE OF APPROVAL**

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24007896

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNING COMMISSION
SITE DEVELOPMENT PERMIT NO. 2258152
COASTAL DEVELOPMENT PERMIT NO. 2155137
FROUDE RESIDENCES - PROJECT NO. 604010

This Site Development Permit No. 2258152 and Coastal Development Permit No. 2155137 is granted by the City Council of the City of San Diego to Richard Harmon, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504 (Site Development Permit) and 126.0707 (Coastal Development Permit). The 0.21-acre site is located at 1750 Froude Street in the RM-1-1 zone of the Ocean Beach Community Plan. The project site is legally described as: Lots 21, 22, 23, and 24 in Block 22, of Ocean Beach, in the City of San Diego, County of San Diego, State of California, as per Map No. 279, filed in the Office of the San Diego County Recorder on May 28, 1887; excepting therefrom the northeasterly 50' thereof.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single dwelling unit and construct two, two single-dwelling units and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated XXXX, on file in the Development Services Department.

The project shall include:

- a) Demolition of an existing single-dwelling unit, consolidation of four lots and subdivision into two lots measuring 4,135 square feet and 4,844 square feet, and the construction of two single-dwelling units totaling 8,979 square feet; the "Proposed Residence 1" would be approximately 3,309 square feet (including the 475-square-foot basement/garage) and the "Proposed Residence 2" would be approximately 3,050 square feet (including a 216-square-foot basement/garage).
- b) Landscaping (planting, irrigation and landscape related improvements);
- c) Off-street parking; and
- d) Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [ENTER DATE, including the appeal time].
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying

applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENT:

10. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

ENGINEERING REQUIREMENTS:

12. The Coastal Development Permit and Site Development Permit shall comply with all Conditions of the Parcel Map for the Tentative Map No. 2167006.

13. The project proposes to export 1,050 cubic yards of material from the project site. All excavated material shall be exported to a legal disposal site in accordance with the Standard

Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond, the construction of a new twenty-foot driveway per current City Standards, adjacent to the site on Del Monte Avenue, satisfactory to the City Engineer.
16. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond, the removal of existing driveways per exhibit "A" and replacement with curb, gutter and sidewalk per City Standard, adjacent to the site on Froude Street, satisfactory to the City Engineer.
17. Prior to issuance of any engineering permit, the Owner/Permittee shall obtain an Encroachment and Maintenance Removal Agreement (EMRA) for all existing and proposed improvements of any kind, including utilities, landscaping, decorative rocks/paving, and electrical conduits to be installed within the Froude Street and Del Monte Avenue public rights-of-way, satisfactory to the City Engineer.
18. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond, the construction of curb and gutter per current City Standards, adjacent to the site on Froude Street per Exhibit "A", satisfactory to the City Engineer.
19. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond, to reconstruct the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Froude Street, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

GEOLOGY REQUIREMENT:

22. Prior to the issuance of any construction permit, the Owner/ Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40-square foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)(5).

24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping shall be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times consistent with the City of San Diego Landscape Regulations and Standards.

25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

CLIMATE ACTION PLAN REQUIREMENTS:

26. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

PLANNING/DESIGN REQUIREMENTS:

27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

29. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for

any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

30. Prior to the issuance of any construction permit, the Owner/Permittee shall record a Mutual Maintenance and Access agreement in favor of all parcels within the project site, to the satisfaction of the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on [INSERT Approval Date] and [Approved Resolution Number].

ATTACHMENT 5

Permit Type/PTS Approval No.: XX
Date of Approval: XX

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Bryan Hudson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Robert Harmon
Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CITY COUNCIL
RESOLUTION NO. R-
EASEMENT VACATION NO. 2363368
TENTATIVE MAP PERMIT NO. 2167006
FROUDE RESIDENCES – PROJECT NUMBER 604010

WHEREAS, Richard Harmon, Subdivider, and Kettler Leweck Engineering, Engineer, submitted an application to the City of San Diego for a Tentative Map No. 2167006 and Easement Vacation 2363368 to demolish an existing single-dwelling unit, consolidate and subdivide four existing lots into two legal lots for the construction of two new, two-story single-dwelling units, to vacate an existing four-foot wide sewer, water and drainage easement and to waive the requirement to underground existing off-site overhead utilities on a 0.21-acre site located at 1750 Froude Street. The property is legally described as Lot 21, 22, 23 and 24 in Block 22 of Ocean Beach, in the City of San Diego, County of San Diego, State of California, per Map thereof 279, filed in the Office of San Diego County Recorder on May 28, 1887; excepting therefrom the Northeasterly 50' thereof, in the Ocean Beach Community Plan area, in the RM-1-1 zone; and

WHEREAS, the Map proposes the Subdivision of a 0.21-acre site into two lots for the creation of two new, two-story single-dwelling units; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision

and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on _____, the City Council of the City of San Diego considered Tentative Map No. 2167006, and Easement Vacation No. 2363368, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section(s) 125.0430, 125.0440, 125.0941, 125.1040, 144.0240, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the City Council having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 2167006:

Findings for Tentative Map San Diego Municipal Code Section 125.0440:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The proposed Tentative Map shows the consolidation and subdivision of four existing lots into two legal lots which would allow the construction of two new, two-story single-family residences and vacation of an existing 4-foot wide sewer, water, and drainage easement for a small-lot subdivision. Proposed Lot 1 would be approximately 4,844 square feet and the proposed Lot 2 would be approximately 4,135 square feet. The 0.21-acre project site is located at 1750 Froude Street and is developed with one single-dwelling unit that would be demolished. The proposed project will maintain the view corridor along Del Monte Avenue, and the existing landscaping along the frontages will remain the same. The project site is located in a developed neighborhood served by existing public services and utilities and is surrounded by existing development on all sides, including residential and commercial uses.

The project would implement the land use designation and goals of the Ocean Beach Community Plan and Local Coastal Program by providing a residential development that is compatible with the surrounding residential uses. The Ocean Beach Community Plan and Local Coastal Program designate the site for Low-Medium Density Residential at the rate of 10-14 units per acre (du/ac), or one to two units for this project site. The site is currently

zoned RM-1-1, which allows only one dwelling unit for each 3,000 square feet of lot area, which allows a maximum of two units for this project site which is consistent with the land use density. One goal of the community plan is to maintain the low-medium density residential nature of the neighborhoods in Ocean Beach Community Plan and Local Coastal Program. This proposal follows this goal and complies with the land use plan accordingly.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The 0.21-acre site is located at 1750 Froude Street on a corner lot with one existing single-dwelling unit. The project will demolish the existing dwelling unit, consolidate and subdivide four existing lots into two legal lots, and construct two new, two story single-family residences, vacation of an existing four-foot-wide sewer, water, and drainage easement. This project complies with the requirements of the RM-1-1 zone as modified by the Supplemental Site Development Permit Regulations for Small-lot Subdivisions (SDMC 143.0365), which allow the subdivision of multi-family zoned land, consistent with the density of the zone, for the construction of single dwelling units. All lots would front on and take access from the rear of the property through a new shared access easement. The RM-1-1 zone allows for one unit per minimum 3,000-square-foot lot, and the subdivision is consistent with that requirement. The subdivision complies with all development regulations and no deviations are proposed. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code.

3. The site is physically suitable for the type and density of development.

The 0.21-acre site is located at 1750 Froude Street on a corner lot and is developed with one existing residential unit. The project site is surrounded on all sides by existing single-family and multi-family residential uses and other two-story structures along Froude Street. Site elevations vary from approximately 129 feet to 138 feet. In addition, the project site is located in a developed area currently served by existing public services and utilities.

The proposed subdivision will include the construction of a new 20-foot driveway per City Standards, adjacent to the site on Del Monte Avenue. A Declaration of Covenants and a Reservation of Easements for the cross-lot drainage easement for the two lots, will be required. A Mutual Access Agreement will be required for the new shared access from Del Monte Avenue. An Encroachment Maintenance and Removal Agreement for the removal of existing driveways, and replacement of curb, gutter and sidewalk, adjacent to Froude Street.

The site is bordered by existing (single-family residential and multi-family residential) development on all sides. It is not located within or adjacent to a floodplain or floodway area, Multi-Habitat Planning Area (MHPA) lands, Environmentally Sensitive Lands (ESL), riparian habitat, or wetlands, and no sensitive species were observed on-site. The project would not expose the public to undue geologic hazards as no known active faults traverse the project site as confirmed by the Geotechnical Investigation that was prepared for the project. Therefore, the site is physically suitable for the type and density of the proposed development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The proposed Tentative Map shows the consolidation and subdivision of four existing lots into two legal lots, which would allow the construction of two new, two-story single-dwelling units and vacation of an existing four-foot-wide sewer, water, and drainage easement for a small-lot subdivision. Proposed Lot 1 would be approximately 4,844 square feet and the proposed Lot 2 would be approximately 4,135 square feet. The 0.21-acre project site is located at 1750 Froude Street and is developed with one single-dwelling unit that would be demolished. The proposed project will maintain the view corridor along Del Monte Avenue, and the existing landscaping along the frontages will remain the same. The project site is located in a developed neighborhood served by existing public services and utilities and is surrounded by existing development on all sides, including residential and commercial uses.

A resolution of an exemption has been prepared for this project in accordance with the State of California Environmental Quality Act (CEQA) guidelines Sections 15301 (Existing Facilities), 15303 (New Construction or Conversion of Small Structures), 15305 (Minor Alterations in Land Use Limitations), and 15315 (Minor Divisions). Therefore, the design of the subdivision or and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The permit controlling the development and continued use of the site contains specific conditions addressing compliance with the City's codes, policies, and regulations, as well as other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Prior to issuance of any building permit for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements in addition to all associated conditions of approval.

The proposed subdivision will include the construction of a new 20-foot driveway per City standards, adjacent to the site on Del Monte Avenue. A Declaration of Covenants and a Reservation of Easements for the cross-lot drainage easement for the two lots, will be required. A Mutual Access Agreement will be required for the new shared access from Del Monte Avenue. An Encroachment Maintenance and Removal Agreement for the removal of existing driveways, and replacement of curb, gutter and sidewalk, adjacent to Froude Street.

The project would not result in risk from fire hazards because it is surrounded by existing development and is not located within a fire hazard severity zone. The project would not expose the public to undue geologic hazards because no known active faults traverse the project site, as confirmed by the Geotechnical Investigation that was prepared for the project. A resolution has been prepared for this project in accordance with CEQA guidelines. The project has been reviewed pursuant to the California Environmental Quality Act (CEQA) and has been determined by Development Services Department that the project qualifies for

a categorical exemption pursuant to CEQA Guidelines Sections 15301 (Existing Facilities), 15303 (New Construction or Conversion of Small Structures), 15305 (Minor Alterations in Land Use Limitations), and 15315 (Minor Divisions).

Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

6. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed Tentative Map shows the consolidation and subdivision of four existing lots into two legal lots, which would allow the construction of two new, two-story single-dwelling units and vacation of an existing four-foot-wide sewer, water, and drainage easement for a small-lot subdivision. Proposed Lot 1 would be approximately 4,844 square feet and the proposed Lot 2 would be approximately 4,135 square feet. This project will not impede or inhibit any future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading and would be developed in accordance with the SDMC requirements for setbacks and height to allow natural ventilation and light between structures. With the independent design of the proposed subdivision each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

7. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The proposed Tentative Map shows the consolidation and subdivision of four existing lots into two legal lots, which would allow the construction of two new, two-story single-dwelling units and vacation of an existing four-foot-wide sewer, water, and drainage easement for a small-lot subdivision consistent with the Ocean Beach Community Plan and Local Coastal Program land use designation. No environmental impacts have been identified during the CEQA process.

All necessary public services (including fire, police, medical, schools, public parks, and libraries) as well as necessary utilities such as electricity, water, and sewer, will be available to and adequate for the proposed project. At ministerial building permit issuance, the applicant will be required to comply with the SDMC affordable housing requirements, and pay the required Development Impact Fees (DIFs) for project impacts to public facilities, as required by the San Diego Municipal Code.

BE IT FURTHER RESOLVED, that a four-foot wide sewer, water and drainage and public utilities granted to the City of San Diego on April 3, 1958 in BK 7021, PG 427, located within the project boundaries as shown in the Tentative Map, shall be vacated, contingent upon the recordation of the approved Parcel Map for the project, and that the following findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference:

Findings for Easement Vacation San Diego Municipal Code Section 125.1040:

- 1. There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated. (San Diego Municipal Code § 125.1040(a))**

The project proposes a vacation of an unutilized four-foot-wide easement for sewer, water, drainage and public utilities located adjacent to the northwestern portion of the property line. This easement is not currently occupied by utilities serving the project site or adjacent properties. The project site will be served by public utilities along Froude Street and Del Monte Avenue. As such, there will be no present or prospective use for the public easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

- 2. The public will benefit from the action through improved utilization of the land made available by the vacation.**

The 0.21-acre site is located at 1750 Froude Street on a corner lot with one existing residential unit to be demolished for the consolidation and subdivision of four existing lots into two legal lots and construction of two new, two story single-family residences.

Vacating the unused easement will allow for more developable area. The project would provide needed housing units in an area served by existing amenities. Therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

- 3. The vacation is consistent with any applicable land use plan. (San Diego Municipal Code § 125.1040(c))**

The Ocean Beach Community Plan and Local Coastal Program designates the site for residential development and does not identify any proposed utility of public right-of-way uses for the requested easement. The proposed project is consistent with the goals and policies of the General Plan and the Community Plan because vacating the easement would allow efficient development of the site under the residential land use designation.

4. The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists. (San Diego Municipal Code § 125.1040(d))

There are no existing or proposed public utility within the unused four-foot-wide easement for sewer, water, drainage and public utilities at 1750 Froude Street. The utilities required for the site and surrounding properties are developed on other portions of the project site and within the existing right-of-way.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council, Tentative Map No. 2167006 and Easement Vacation No. 2363368, including the waiver of the requirement to underground existing offsite overhead utilities, is hereby granted to Richard Harmon subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: Mara Elliott, City Attorney

By _____
Mara Elliott
Deputy City Attorney

[Initials]:[Initials]
[Month]/[Day]/[Year]
Or.Dept:[Dept]
R-R-[Reso Code]

Process 5 – Tentative Map and Easement Vacation

By _____
Bryan Hudson
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24007896

PLANNING COMMISSION
ADOPTED BY RESOLUTION NO. R-_____ ON _____
CONDITIONS FOR TENTATIVE MAP NO. 2167006
FROUDE RESIDENCES - PROJECT NO. 604010

GENERAL

1. This Tentative Map will expire _____.
2. Compliance with all the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The Parcel Map shall conform to the provisions of Tentative Map No. 2167006, Site Development Permit No. 2258152, Coastal Development Permit No. 2258152.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

AFFORDABLE HOUSING

6. Prior to recordation of the Parcel Map, the Subdivider shall enter into a written agreement with the San Diego Housing Commission to pay the inclusionary affordable housing fee pursuant to the City's Inclusionary Affordable Housing Regulations (San Diego Municipal Code §§ 142.1301 et seq.).

ENGINEERING

7. The Tentative Map shall comply with the conditions of Coastal Development Permit No. 2155137 and Site Development Permit No. 2258152.
8. The following will be conditions of the Tentative Map Resolution that the Subdivider will need to satisfy/assure before the Parcel Map is recorded.

9. Prior to the issuance of any building permits, the Subdivider shall record a Declaration of Covenants and Reservation of Easements for the Cross-Lot Drainage Easement for the two project sites currently held by the same owner.
10. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
11. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

12. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
13. Prior to the expiration of the Tentative Map, if approved, a Parcel Map to consolidate and subdivide the properties into two single dwelling units shall be recorded to the County Recorder's office.
14. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition.

If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.
15. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
16. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
17. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said

map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.

- b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

PUBLIC UTILITES

18. Prior to the recordation of Parcel Map, the Subdivider shall provide CC&Rs for the operation and maintenance of all private water and sewer facilities, in a manner satisfactory to the Public Utilities Director and the City Engineer.
19. The Subdivider shall grant private water easements for all cross-lot private water service from one lot to another as shown on the approved Exhibit "A".
20. Prior to the recordation of the Parcel Map, the Subdivider shall vacate the existing water, sewer, and drainage easement, in a manner satisfactory to the Public Utilities Director and the City Engineer.

GEOLOGY

21. Prior to the issuance of a grading permit, the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego's "Guidelines for Geotechnical Reports," satisfactory to the City Engineer.

INFORMATION:

- The approval of this Tentative Map by the City Council of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition

ATTACHMENT 7

within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.

- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24007896

DRAFT

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO DETERMINING THAT THE APPROVAL OF THE FROUDE RESIDENCES EV CDP SDP TM (PROJECT NO. 604010) IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO CEQA GUIDELINES SECTIONS 15301 (EXISTING FACILITIES), 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES), 15305 (MINOR ALTERATIONS IN LAND USE LIMITATIONS) AND 15315 (MINOR LAND DIVISIONS).

WHEREAS, the proposed project is an Easement Vacation (EV), Coastal Development Permit (CDP), Site Development Permit (SDP) and Tentative Map (TM) for the demolition of an existing single dwelling unit and construction of two, two-story single dwelling unit residential units totaling 5641 square feet located at 1750 Froude Street (Project); and

WHEREAS, the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.), section 21084, states that the CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.) shall list those classes of projects which have been determined not to have a significant effect on the environment and which shall be exempt from CEQA; and

WHEREAS, pursuant to that authority, CEQA Guidelines sections 15300-15333 list the categorical exemptions promulgated by the California Office of Planning and Research and adopted by the Secretary of the California Natural Resources Agency for those classes of Projects which have been determined not to have a significant effect on the environment; and

WHEREAS, the Development Services Department has established that the Project is categorically exempt from CEQA pursuant to CEQA Guidelines sections 15301, 15303, 15305,

and 15315 and that no exception to the exemptions, as set forth in CEQA Guidelines section 15300.2, applies to the Project; and

WHEREAS, the Council of the City of San Diego has considered the potential environmental effects of the Project, and

WHEREAS, on [insert date of Council meeting], the City Council held a duly noticed public meeting and considered the written record for the Project as well as public comment; and

WHEREAS, the Council of the City of San Diego, using its independent judgment, has determined that the Project will not have a significant effect on the environment as the project, meets the criteria set forth in CEQA Sections 15301, 15303, 15305, and 15315; and

WHEREAS, under Charter Section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

NOW, THEREFORE,

BE IT RESOLVED, that the Council of the City of San Diego determines that the Project is categorically exempt from CEQA pursuant to CEQA Guidelines sections 15301, 15303, 15305, and 15315 and that an exception to the exemptions do not apply.

BE IT FURTHER RESOLVED, that the Council of the City of San Diego has determined that an exception to the exemption as set forth in CEQA Guidelines section 15300.2 does not apply.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of Exemption regarding the Project with the Clerk of the Board of Supervisors for the County of San Diego.

APPROVED: MARA W. ELLIOTT, City Attorney

By _____
Mara Elliott
Deputy City Attorney

[Initials]:[Initials]
[Month]/[Day]/[Year]
Or.Dept:[Dept]
Doc. No.

I hereby certify that the foregoing Resolution was passed by the Council of the City of San Diego, at this meeting of _____.

ELIZABETH S. MALAND
City Clerk

By _____
Deputy City Clerk

OCEAN BEACH PLANNING BOARD

GENERAL MEETING NOTICE & AGENDA

Wednesday, September 5th, 2017 – 6:00 p.m.

Ocean Beach Recreation Center – 4726 Santa Monica Ave, Ocean Beach CA 92107

6:00 pm **Call to Order**

- Quorum/Introductions
- Agenda modifications and approval
- Minutes modifications and approval
- Treasurer's Report
- Representatives Report
 - City Council District 2 Lori Zapf's Report – *Conrad Wear*
 - Mayor Kevin Faulkoner's Report – *Anthony Geroge*
 - County Supervisor District 4 Ron Robert's Report – *Andrian Granda*
 - Congressman Scott Peter's Report – *rep tbd*
 - Senator Toni Atkins Report – *Chevelle Newell-Tate*
 - Assemblyman Todd Gloria – *Adriana Martinez*

This was supposed to be 2018

6:30 pm **Non-Agenda Public Comment**

Two minutes per speaker for issues not on the Agenda and within the purview of the Board.

6:40 pm **Action Item #1: Appoint New Members**

The board will review and vote on the appointment applications of Kevin Hastings for District 2 and Tracy Dezenzo for district 1.

6:50 pm **Action Item #2: 1750 Froude Street Project #604010**

The board will review and vote on Process Coastal Development Permit and Tentative Map for the demolition of an existing single dwelling unit and construction of two, 2-story single dwelling unit residential condominium units totaling 5641 square feet located at 1750 Froude Street. The project scope includes 690 square feet of subterranean basement area. The 0.21-acre site is in the RM-1-1 zone, Coastal (Non-appealable) zone within the Ocean Beach Community Plan area and Council District 2.

7:20 pm **Action Item #3: Bacon Avenue Safety Improvements**

The board will review and vote to send a letter, written by the Transportation Subcommittee, to the city about possible safety improvements along Bacon Avenue Bicycle Corrido Avenue.

7:50 pm **Action Item #4: Niagra and Sunset Cliffs Boulevard Safety Improvements**

The board will review and vote to send a letter, written by the Transportation Subcommittee, to the city about possible safety improvements at the Niagra Avenue and Sunset Cliffs Boulevard intersection.

8:20 pm **Action Item #5 Brighton Avenue Safety Improvements**

The board will review and vote to send a letter, written by the Transportation Subcommittee, to the city about possible safety improvements along Brighton Avenue.

8:50 pm **Information Item #1 Changing The Bylaws**

The Board will discuss city recommendations to maintain an active Community Planning Group.

For more information please contact:

Andrea Schlageter, Chair
 aeschlag@gmail.com / 619-818-2555
 4876 Santa Monica Avenue #133
 San Diego, CA 92107
 Oceanbeachplanning.org



OCEAN BEACH PLANNING BOARD
General Meeting Minutes: 09/05/2018

Page 2 of 3

CHAIR'S REPORT:

NON-AGENDA PUBLIC COMMENT

• **COMMUNITY FORESTRY GROUP— CONCERNS ABOUT PROTECTION OF TORY PINES TREE ON LONG BRANCH- ENCOURAGING SUPPORT FOR THIS TO THE CITY FOR CITY COUNCIL MEETING**

• **MARCY BARON: 4925 SARATOGA- REMINDED BOARD THAT THIS PROJECT WAS APPROVED A YEAR AGO . WAS A SHORT TERM RENTAL PROPERTY. BOARD DID NOT RECOMMEND APPROVAL TO THE CITY. PARTIALLY BECAUSE IT DOES NOT COMPLY WITH COMMUNITY DEVELOPMENT PLAN. PERMIT APPROVED. IT RECEIVED COASTAL DEVELOPMENT PERMIT. OWNER IS EXPANDING THE PROPERTY. MARCY HAS MADE SEVERAL CALLS TO THE CITY WITHOUT SUCCESS**

• **Dustin Johnson- reported on medical recovery of Jim Bell who owns large property on Voltaire and described complicated issues with development of the property and person trying to purchase the property.**

ACTION ITEM #1

APPOINTMENT OF NEW MEMBERS

• **KEVIN HASTINGS. DISTRICT 6. APPOINTMENT APPROVED. FIRST BY DAN, 2ND BY ANDREA BY DAN. APPROVED 8-0**

• **TRACY DEZENZO—DISTRICT 1. WANTS TO INCREASE COMMUNICATION WITH RESIDENTS IN THE DISTRICT. DESCRIBED GENERAL LACK OF KNOWLEDGE ABOUT THE PLANNING BOARD IN OB. FIRST BY JANE GAWRONSKI, SECONDED BY ANDREA. APPROVED 8-0-0**

ACTION ITEM #2

1740 FRONDE ST REPRESENTED BY ARCHITECT ERIC LINDBERGH OF SHERI ARCHITECTURE

ELIMINATE ONE SF HOME, BUILD 2 UNITS, 4 BR EACH, 3,295 S.F AND 3,036 S.F. STAFF REVIEW DOCUMENTS SHARED HAS NUMEROUS COMMENTS WITHOUT ANSWERS FROM APPLICANT. FIRST BY NUMAN STOTZ AND SECOND BY JANE GAWRONSKI. PASSES 9-0-1

ACTION ITEM #3 PROPOSED LETTER TO CITY RECOMMENDING BACON AVE SAFETY IMPROVEMENTS . First Richard Aguirre, second Dan Dennison Passes 10-0-0

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin:0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
-----------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------	--------------------------------------------

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: Froude Residences **Project No. For City Use Only:** 604010
Project Address: 1750 Froude Street
San Diego, CA 92107

Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
 Name of Individual: Richard Harmon Owner Tenant/Lessee Successor Agency
 Street Address: 1750 Froude Street
 City: San Diego State: CA Zip: 92107
 Phone No.: 478-335-4624 Fax No.: 619-221-0874 Email: richard.harmon@goodmencorp.com
 Signature: *Richard Harmon* Date: 4/4/2018
 Additional pages Attached: Yes No

Applicant
 Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Other Financially Interested Persons
 Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

FROUDE RESIDENCES

1750 FROUDE STREET, OCEAN BEACH, CA 92107

SITE PLAN KEYNOTES:

- DEMOLISH CURB CUT AND DRIVEWAY AND RESTORE SIDEWALK AND GUTTER PER CITY OF SAN DIEGO STANDARD.
- NEW CURB CUT AND DRIVEWAY PER CITY OF SAN DIEGO STANDARD.
- REFUSE AND RECYCLING.
- 8'x19' PARKING SPACE.
- ROOF OVERHANG.
- EXISTING NEIGHBORING DRIVEWAY TO REMAIN.
- CLEAR VISIBILITY TRIANGLE PER SAN DIEGO MUNICIPAL CODE DIAGRAM 113-02SS. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- SITE SETBACK LINE.
- ROOF GUTTER ABOVE, TYP.
- DECK GUTTER ABOVE.
- DEMOLISH AND RECONSTRUCT CURB AND GUTTER ALONG FROUDE PER CITY OF SAN DIEGO STANDARD DETAILS.
- NEW RETAINING WALL PER CITY OF SAN DIEGO STANDARD DRAWING C-03.
- NEW PROPERTY LINE PER SMALL LOT SUBDIVISION. SEE SAN DIEGO MUNICIPAL CODE SECTION 143.0365 FOR SMALL LOT REGULATIONS.
- PRIVATE SEWER EASEMENT. SEE SMALL LOT SUBDIVISION MUTUAL MAINTENANCE AND ACCESS AGREEMENT.

BUILDING CODE & ZONING INFORMATION:

SD PROJECT #: 604010
I.O No.: 24007896
TENTATIVE MAP No.: 2167006
SCOPE OF WORK: DEMOLITION OF EXISTING 1949 SINGLE-FAMILY RESIDENCE. CONSTRUCTION OF TWO SINGLE-FAMILY RESIDENCES ON SMALL LOT SUBDIVISION.
A.P.N.: 448-492-12-00
LEGAL DESC.: LOTS 21, 22, 23, AND 24, BLOCK 22 OF OCEAN BEACH, ACCORDING TO MAP THEREOF NO 279, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA.

(E) LOT SIZE: 0.206 ACRES (8,979.3 SF)
(P) LOT SIZES: 4,844.3 SF (LOT 1), 4,135 SF (LOT 2)
LANDSCAPED AREA: 4,763 SF TOTAL LANDSCAPE AREA
USES (E / P): RESIDENTIAL (E) / RESIDENTIAL (P)
TYPE OF CONST. (E): TYPE V-B, NON-RATED, NON-SPRINKLERED
TYPE OF CONST. (P): TYPE V-B, NON-RATED, SPRINKLERED
OCCUPANCY (E / P): R-3 (E) / R-3 (P)
OCCUPANCY LOAD: 10 OR FEWER
OF STORIES (E / P): 1 + BASEMENT (E) / 2 + BASEMENT (P)

OVERLAYS / DISTRICTS: AIRPORT APPROACH, AIRPORT INFLUENCE AREA, COASTAL HEIGHT LIMIT, COASTAL (CITY), PARKING IMPACT, OCEAN BEACH PLANNED DISTRICT, COTTAGE EMERGING HISTORIC DISTRICT

DEFERRED SUBMITTALS: RESIDENTIAL FIRE SPRINKLER SYSTEM
PROPOSED F.A.R.: 0.680 LOT 1 / 0.734 LOT 2 / 0.705 AVG.
TOTAL (P) BLDG AREA: 6,331 SF

BUILDING AREA:

GROSS FLOOR AREA, BUILDING 1	
BASEMENT / GARAGE	475 SF
FIRST FLOOR	1,417 SF
SECOND FLOOR	1,417 SF
TOTAL	3,309 SF
GROSS FLOOR AREA, BUILDING 2	
BASEMENT / GARAGE	216 SF
FIRST FLOOR	1,417 SF
SECOND FLOOR	1,417 SF
TOTAL	3,050 SF

NOTE: CITY OF SAN DIEGO GROSS FLOOR AREA INCLUDES ALL ENCLOSED GROSS AREA TO THE EXTERIOR OF EXTERIOR WALLS, INCLUDING STAIRWELLS, SHAFTS, AND OPEN SPACES, AND INCLUDES BASEMENT AREA WITH A FIRST-FLOOR-TO-GRADE-LEVEL HEIGHT OF 5' OR MORE.

ZONING CODE SUMMARY
 ZONE: RM-1-1 (RESIDENTIAL - MULTIPLE UNIT)
 MAX DWELLING UNITS PERMITTED: 1 UNIT PER 3,000 LOT SF
 MAX DU ON SITE: 2 UNITS
 MINIMUM LOT AREA: 6,000 SF
 MINIMUM LOT WIDTH: 50'
 MINIMUM STREET FRONTAGE REQUIRED: 50'
 MINIMUM LOT WIDTH, CORNER LOTS: 55'
 MINIMUM LOT DEPTH: 90'
 MAXIMUM FAR: 0.75
 MAX FAR ON SITE: 6.734 SF
 SEE MUNICIPAL CODE 143.0365 FOR SMALL LOT SUBDIVISION REGULATIONS

VARIANCE REQUIRED? NO
BUILDING SETBACKS: FRONT: 15' MIN/20' STD; SIDE: 5' MIN/8' STD; STREET SIDE: 10'; REAR: 15' (STANDARD SETBACKS LISTED HERE. SEE SITE PLANS FOR PARCEL-SPECIFIC SETBACKS).

REQUIRED PARKING SPACES:
 DWELLING UNIT 1: 3 BEDROOMS IN TRANSIT AREA = 2 SPACES
 DWELLING UNIT 2: 3 BEDROOMS IN TRANSIT AREA = 2 SPACES
 2 SPACES + 2 SPACES = 4 SPACES TOTAL

BUILDING HEIGHT LIMIT: 30', SEE SECTION 131.0444(E)
ACCESSORY USES: ALLOWED. SEE SECTION 131.0448
ARCHITECTURAL PROJECTIONS: ALLOWED. SEE SECTION 131.0461
BUILDING SPACING: 6', 3' TO NONHABITABLE. SEE SECTION 131.0450

APPLICABLE CODES
 1. BUILDING CODE: 2016 CALIFORNIA BUILDING CODE
 2. ELECTRICAL CODE: 2016 CALIFORNIA ELECTRICAL CODE
 3. MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE
 4. PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE
 5. ACCESSIBILITY CODE: 2016 CALIFORNIA BUILDING CODE (IN ADDITION TO ADA)

VICINITY MAP:



AC SHEET INDEX ARCHITECTURAL

Sheet Number	Sheet Name
AC-0.0	SITE PLAN
AC-0.1	EXISTING SITE PLAN
AC-0.2	SITE SECTIONS
AC-1	BASEMENT FLOOR PLAN
AC-2	FIRST FLOOR PLAN
AC-3	SECOND FLOOR PLAN
AC-4	ROOF PLAN
AC-5	OVERALL EXTERIOR ELEVATIONS
AC-6	1/4" EXTERIOR ELEVATIONS
AC-7	1/4" EXTERIOR ELEVATIONS
AC-8	BUILDING SECTIONS

AC DISCIPLINES SHEET INDEX

Sheet Number	Sheet Name
C-1	CIVIL TENTATIVE MAP - TITLE SHEET
C-2	CIVIL TENTATIVE MAP - EXISTING CONDITION
C-3	CIVIL TENTATIVE MAP - FINISH GRADING
LC-1	LANDSCAPE CONSTRUCTION PLAN
LC-2	LANDSCAPE CONSTRUCTION DETAILS
LC-3	LANDSCAPE IRRIGATION PLAN
LC-4	LANDSCAPE IRRIGATION LEGEND & NOTES
LC-5	LANDSCAPE PLANTING PLAN
LC-6	LANDSCAPE EXISTING TREE PLAN
LC-7	LANDSCAPE TREE CALCS

GENERAL NOTES:

- PROPERTY IS NOT ADJACENT TO AN EXISTING OR PROPOSED TRANSIT STOP.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UPC 901.4.4).
- EXISTING HYDRANTS WITHIN 600' SHOWN ON SHEET AC-0.1.
- SEE REPORTS FOR SOILS CONDITIONS AND GEOLOGIC HAZARD CATEGORY.
- ADEQUATE NOISE ATTENUATION WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dBA CNEL FOR ALL HABITABLE ROOMS.
- PRIOR TO THE ISSUANCE OF CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- "I SFEIR ARCHITECTS DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATIONS TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15(A) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED."
- EXISTING OVERHEAD ELECTRICAL SERVICE FROM FROUDE TO BE REMOVED. NEW OVERHEAD ELECTRICAL SERVICE TO BE ADDED FOR NEW RESIDENCES. NEW PLUMBING AND WATER UTILITIES TO BE UNDERGROUND.
- THE SUBDIVIDER SHALL RECORD A DECLARATION OF COVENANTS AND RESERVATION OF EASEMENTS FOR THE SHARED ACCESS EASEMENT FOR THE TWO PROJECT SITES CURRENTLY HELD BY THE SAME OWNER STATING THAT SINCE THE MUTUAL ACCESS EASEMENT AGREEMENT IS A PRIVATE AND NOT A PUBLIC ISSUE, THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR ANY DISPUTE THAT MIGHT ARISE IN THE FUTURE BETWEEN THE PRIVATE PARTIES.

NARRATIVE SCOPE OF WORK:
 • DEMOLITION OF EXISTING 1949 SINGLE-FAMILY RESIDENCE.
 • DEMOLITION OF EXISTING SITE WORK INCLUDING DRIVEWAY, FROUDE CURB, BRICK PAVERS AT STREET, SITE HARDSCAPE, AND FRONT YARD WALL.
 • EXISTING LANDSCAPING TO BE PRESERVED TO GREATEST AMOUNT POSSIBLE. SEE LANDSCAPE SHEETS.
 • CONSTRUCTION OF TWO SINGLE-FAMILY DWELLINGS ON NEW LOTS.
 • CONSTRUCTION OF SITE IMPROVEMENTS INCLUDING NEW DRIVEWAY, FRONT YARD FENCE, AND PAVERS.
 • R.O.W. WORK: NEW DRIVEWAY, SIDEWALK, AND CURB CUT, NEW WATER METER, NEW LANDSCAPING & PAVERS, NEW CURB AND GUTTER ON FROUDE.
 • REQUIRED APPROVALS: COASTAL DEVELOPMENT PERMIT, BUILDING PERMIT, ROW PERMIT, PARCEL MAP CONSOLIDATION & SUBDIVISION.

PROJECT TITLE:
FROUDE RESIDENCES
 PROJECT ADDRESS:
 1750 Froude Street
 Ocean Beach, CA 92107

ARCHITECT:
S F E I R ARCHITECTS
 5151 Shoreham Place, Suite 100
 San Diego, CA 92122
 P: 619-299-3917
 F: 619-299-5084
 www.sfeirarch.com

OWNER: RICHARD HARMON, JEFF BECKER, GOOD-MEN CONSTRUCTION INC., 3940 HANCOCK STREET, SUITE 220, SAN DIEGO, CALIFORNIA 92110

ARCHITECT: SFEIR ARCHITECTS, 5151 SHOREHAM PLACE, SUITE 100, SAN DIEGO, CALIFORNIA 92122, TEL: (619)299-3917, FAX: (619)299-5084

STRUCTURAL: SSE, 2091 LAS PALMAS DRIVE, SUITE D, CARLSBAD, CALIFORNIA 92011

ME&P: SALEHEI ENGINEERING, 8360 CLAIREMONT MESA BLVD, SUITE 111, SAN DIEGO, CALIFORNIA 92111

CIVIL: KETTLER LEWICK, 303 A STREET, SUITE 302, SAN DIEGO, CALIFORNIA 92101

LANDSCAPE: JPBLA, 4403 MANCHESTER, 201, ENCINITAS, CALIFORNIA 92124

GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS, 5631 SEA LION PLACE, SUITE 109, CARLSBAD, CALIFORNIA 92010

INTERIOR: ISLEY DESIGN, 1982 FALSBRO AVENUE, ESCONDIDO, CALIFORNIA 92029

APPROVAL STAMP: [Professional Seal of Robert Michel Sfeir, Licensed Architect, No. C28543, State of California]

SHEET TITLE:
SITE PLAN

PROJECT #: 01737.00
 SHEET NUMBER:
AC-0.0

SCALE: As indicated
 DRAWING PREPARATION DATE: 4/2/18
 SHEET 1 OF 11

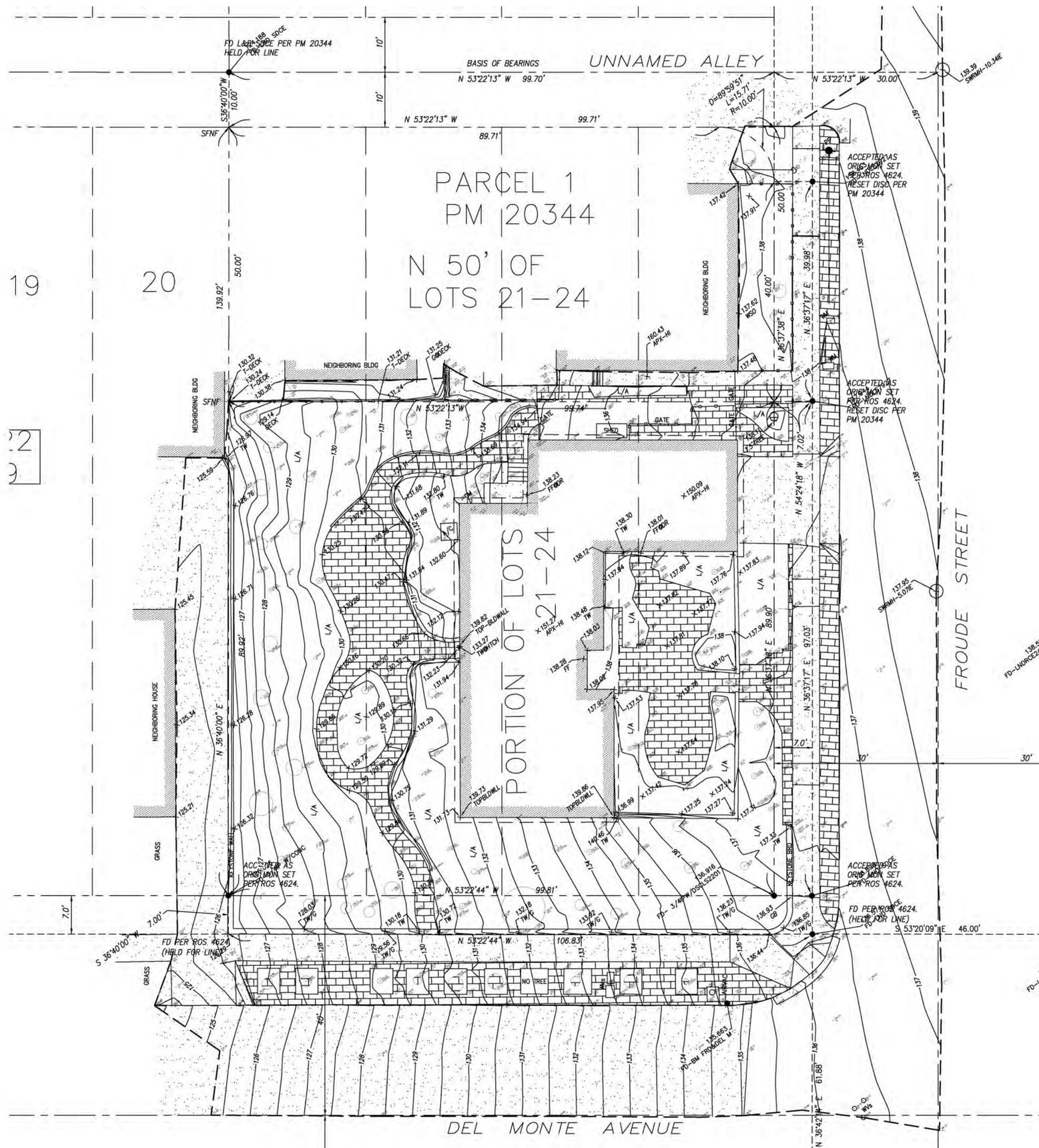
AC SITE LEGEND:

- CENTERLINE OF STREET
- PROPERTY LINE
- BUILDING SETBACK

1 SITE PLAN
 1" = 10'-0"



2 EXISTING HYDRANT MAP
NTS



1 EXISTING SITE PLAN.
1" = 10'-0"

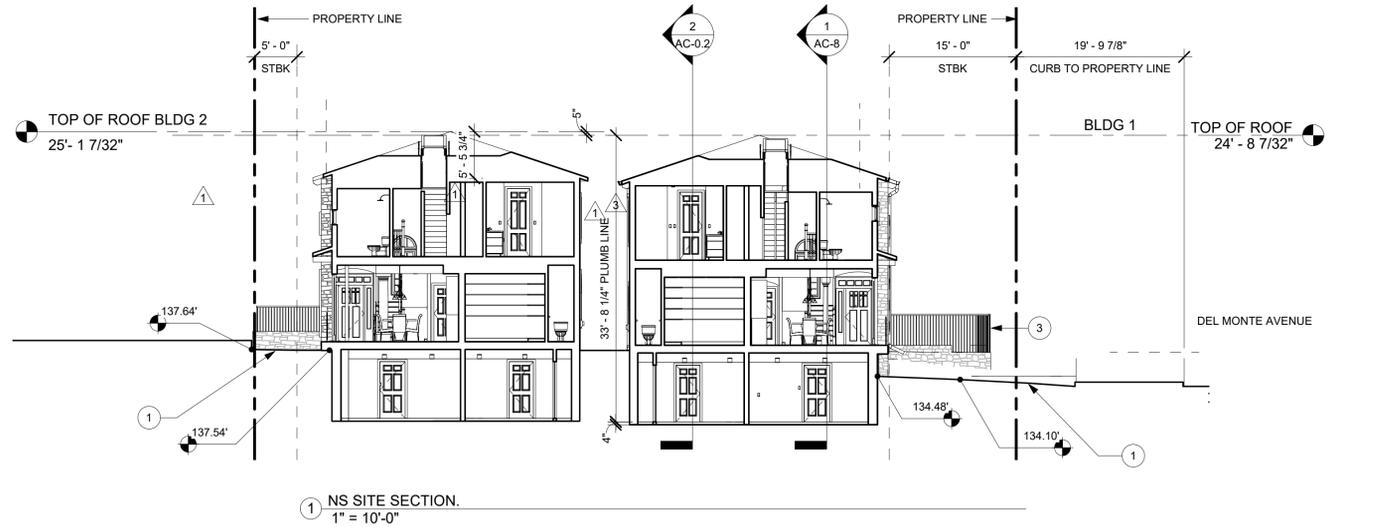
<p>PROJECT TITLE: FROUDE RESIDENCES</p> <p>PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107</p>		<table border="1"> <tr><td>△ CITY COMMENTS</td><td>07/11/18</td></tr> <tr><td>△ CITY COMMENTS</td><td>09/11/18</td></tr> <tr><td>△ DESIGN CHANGES</td><td>09/11/18</td></tr> <tr><td>△ CITY COMMENTS</td><td>02/21/19</td></tr> </table>	△ CITY COMMENTS	07/11/18	△ CITY COMMENTS	09/11/18	△ DESIGN CHANGES	09/11/18	△ CITY COMMENTS	02/21/19
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SITE SECTION GENERAL NOTES:

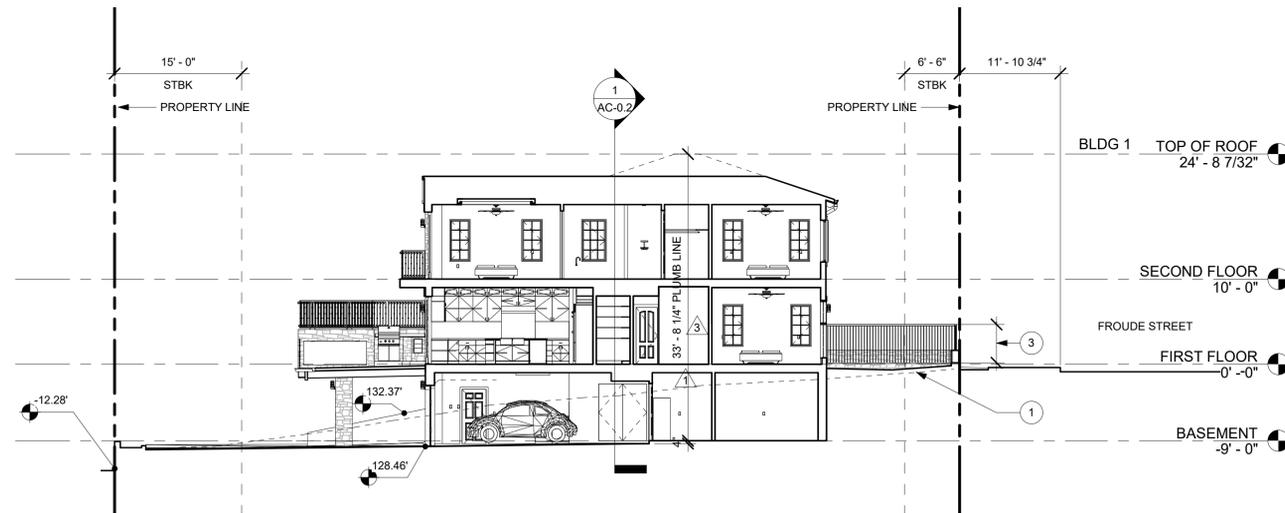
- SEE SHEETS AC-5 THROUGH AC-8 FOR MORE INFORMATION.

SITE SECTION KEYNOTES:

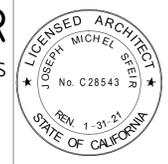
- 1 EXISTING AND PROPOSED GRADE.
- 2 NOT USED.
- 3 5'-0" FENCE HEIGHT TYPICAL.

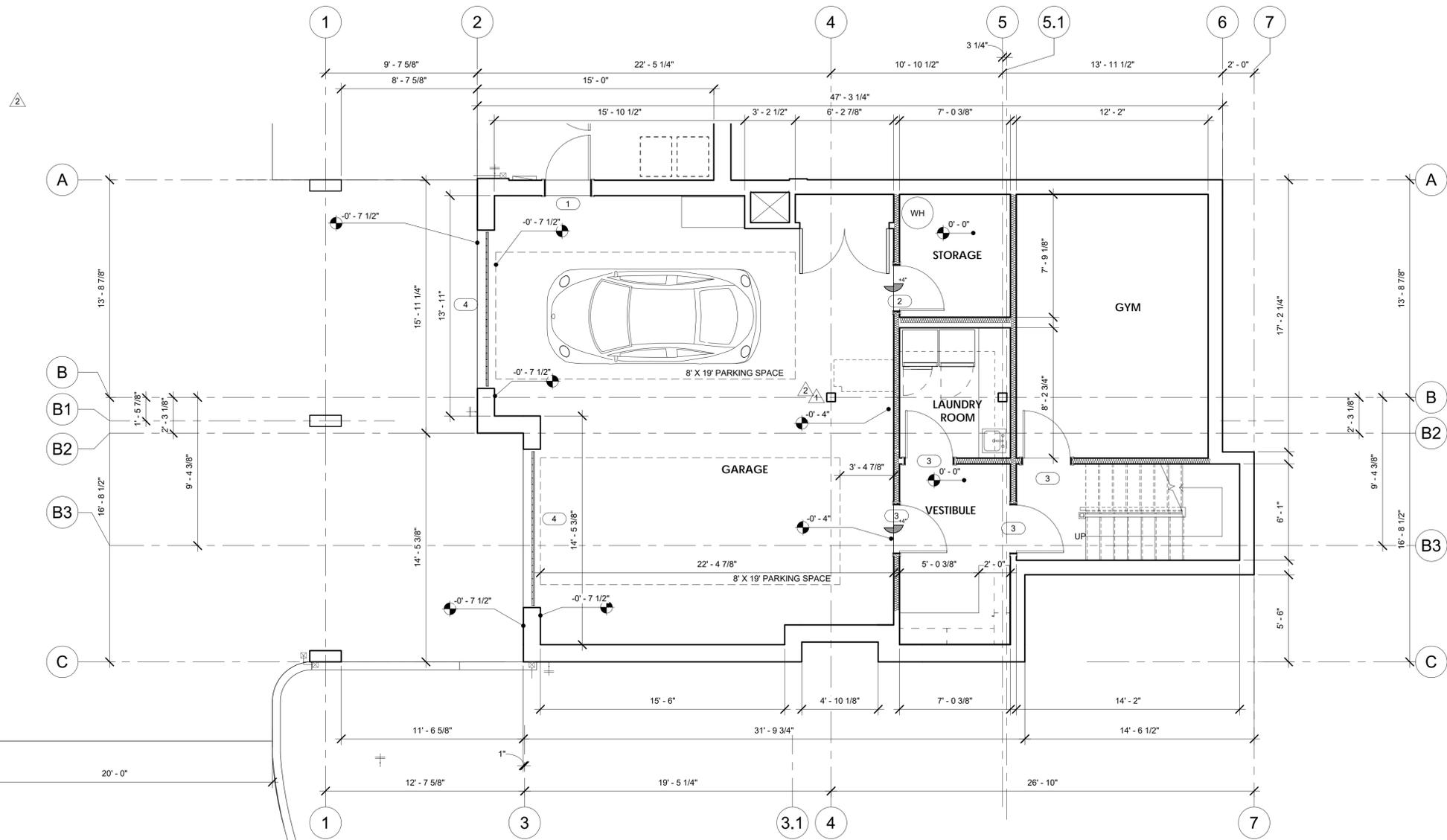


1 NS SITE SECTION.
1" = 10'-0"



2 WE SITE SECTION.
1" = 10'-0"

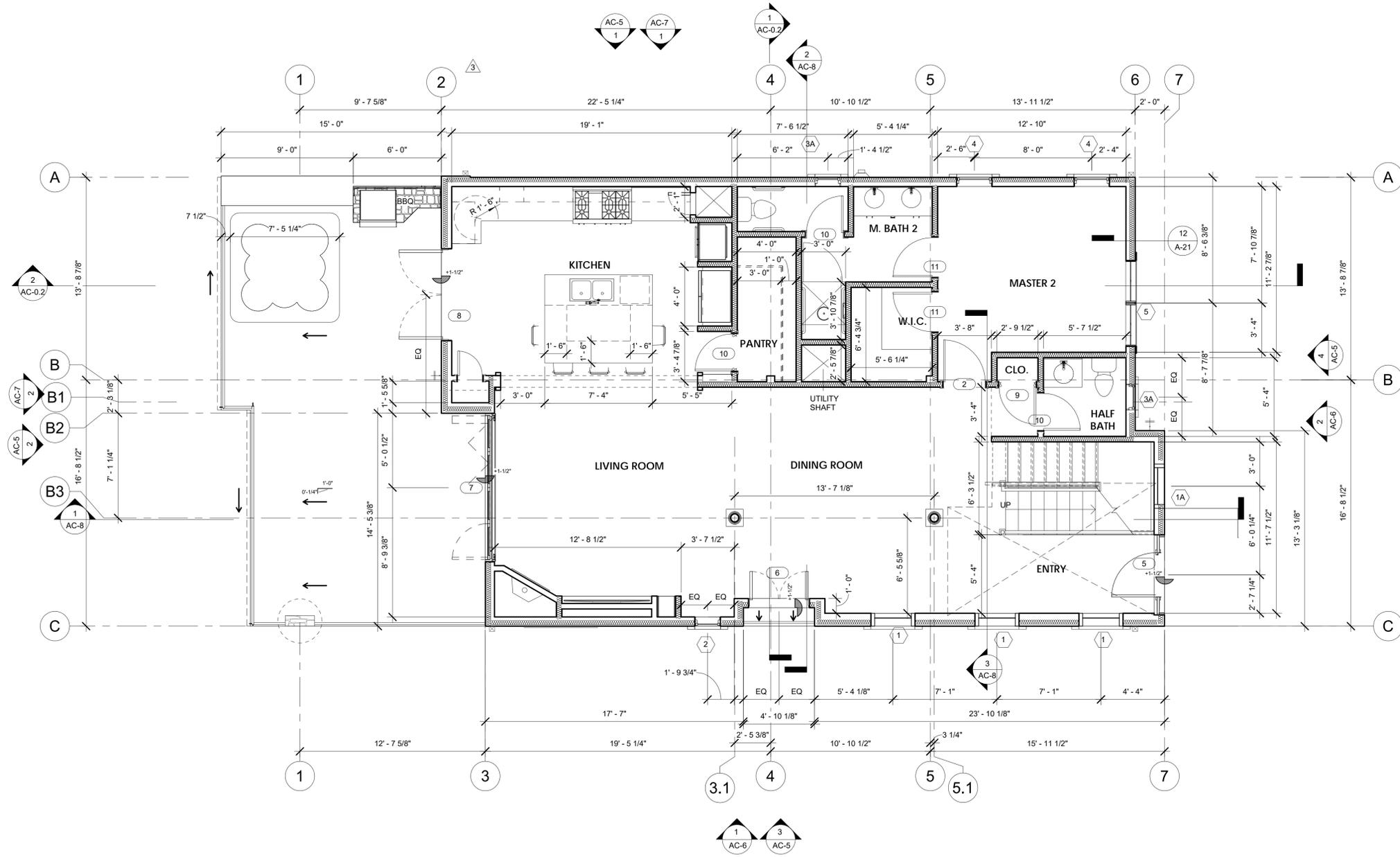
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1 RESIDENCE 1 BASEMENT PLAN
1/4" = 1'-0"

NOTE: RESIDENCE 2 MIRRORED.

PROJECT TITLE: FROUDE RESIDENCES PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107		CITY COMMENTS CITY COMMENTS DESIGN CHANGES CITY COMMENTS	07/11/18 09/11/18 09/11/18 02/21/19
ARCHITECT: S F E I R ARCHITECTS 5151 Shoreham Place, Suite 100 San Diego, CA 92122 P: 619-299-3917 F: 619-299-5084 www.sfeirarch.com		LICENSED ARCHITECT ROBERT MICHEL SFEIR No. C 28543 REV. 1-31-21 STATE OF CALIFORNIA	APPROVAL STAMP:
OWNER: RICHARD HARMON/ JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110	ARCHITECT: SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL.(619)299-3917 FAX(619)299-5084	STRUCTURAL: SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011	ME&P: SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111
CIVIL: KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101	LANDSCAPE: JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124	GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS 5931 SEA LION PLACE, SUITE 109 CARLSBAD, CALIFORNIA 92010	INTERIOR: ISLEY DESIGN 1982 PALMERO AVENUE ESCONDIDO, CALIFORNIA 92029
SHEET TITLE: BASEMENT FLOOR PLAN		PROJECT #: 01737.00	SHEET NUMBER: AC-1
DRAWING PREPARATION DATE: 4/2/18		SCALE: 1/4" = 1'-0"	SHEET 4 OF 11

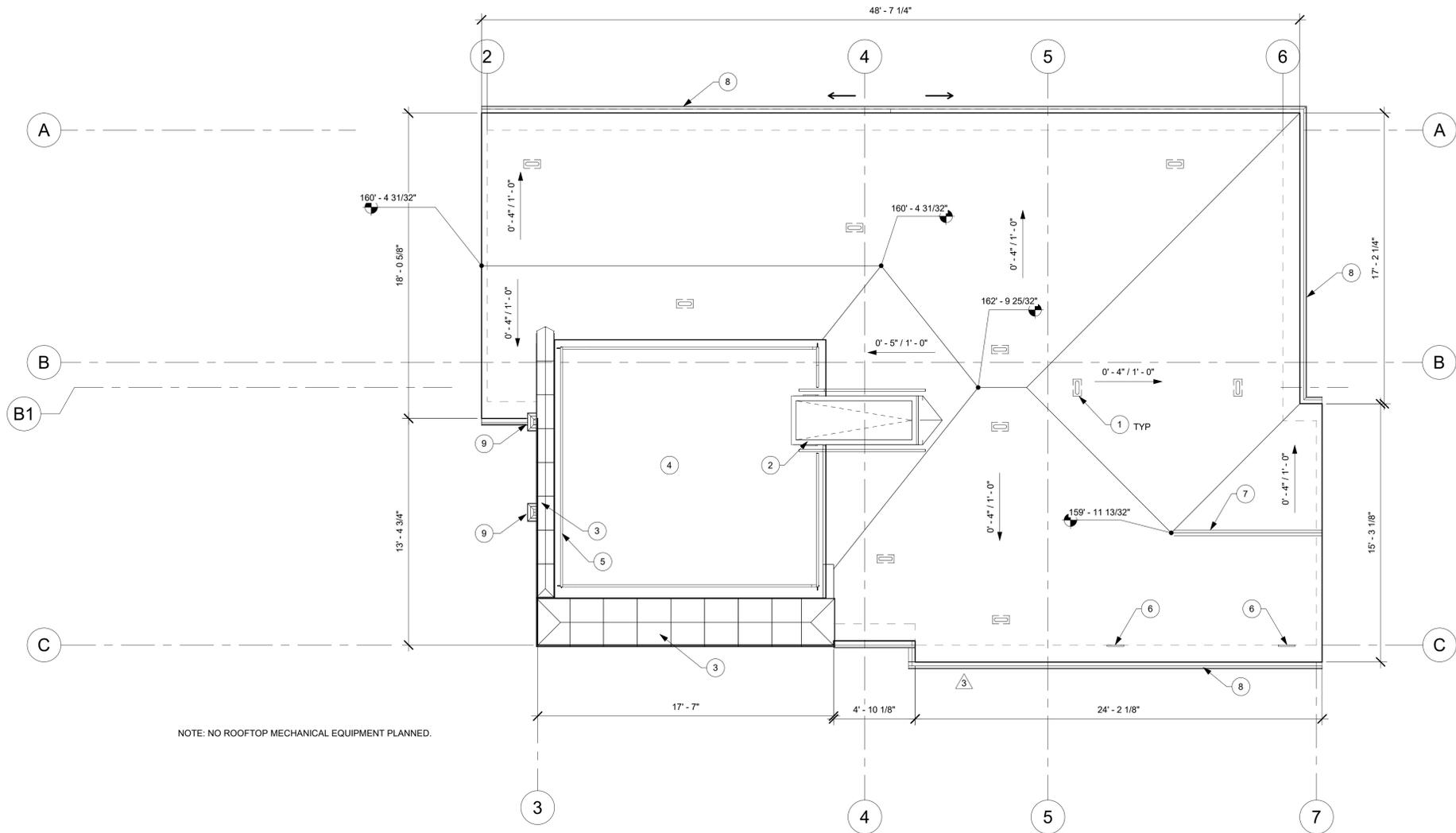


1 RESIDENCE 1 FIRST FLOOR PLAN.
1/4" = 1'-0"

NOTE: RESIDENCE 2 MIRRORED.



PROJECT TITLE: FROUDE RESIDENCES PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107		CITY COMMENTS CITY COMMENTS DESIGN CHANGES CITY COMMENTS	07/11/18 09/11/18 09/11/18 02/21/19
ARCHITECT: S F E I R ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CA 92122 P: 619-299-3917 F: 619-299-5084 www.sfeirarch.com		LICENSED ARCHITECT MICHEL SEFEIR No. C 28543 REN. 1-31-21 STATE OF CALIFORNIA	
OWNER: RICHARD HARMON/ JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110	ARCHITECT: SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL.(619)299-3917 FAX(619)299-5084	STRUCTURAL: SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011	ME&P: SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111
CIVIL: KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101	LANDSCAPE: JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124	GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS 5931 SEA LION PLACE, SUITE 109 CARLSBAD, CALIFORNIA 92010	INTERIOR: ISLEY DESIGN 1982 PALMERO AVENUE ESCONDIDO, CALIFORNIA 92029
APPROVAL STAMP:		SHEET NUMBER: AC-2 SHEET 5 OF 11	



NOTE: NO ROOFTOP MECHANICAL EQUIPMENT PLANNED.

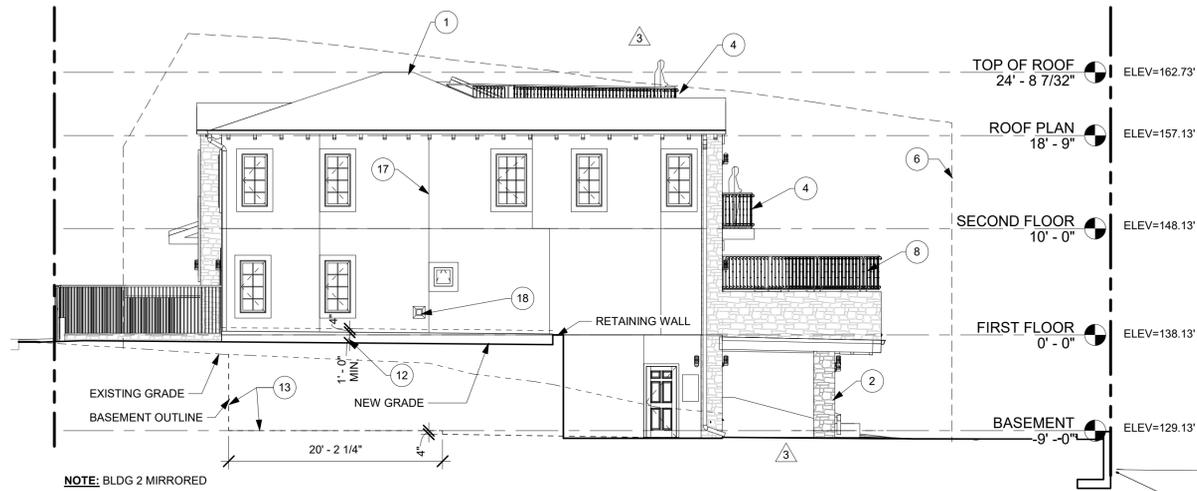
ROOF PLAN KEYNOTES:

- 1 ROOF VENT.
- 2 ROOF DOOR.
- 3 PARAPET WITH DECORATIVE CONCRETE CAP.
- 4 ROOF DECK.
- 5 42" GUARDRAIL.
- 6 UNDEREAVE VENT.
- 7 RIDGE VENT.
- 8 MTL. GUTTER, TYP.
- 9 MTL. SCUPPER.

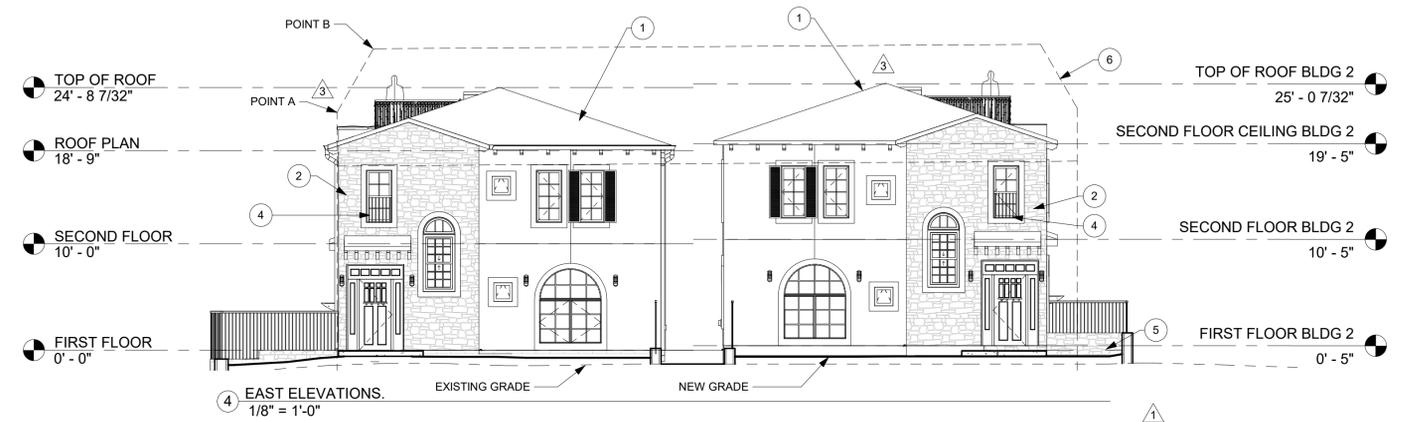
1 RESIDENCE 1 ROOF PLAN.
1/4" = 1'-0"

NOTE: RESIDENCE 2 MIRRORED.

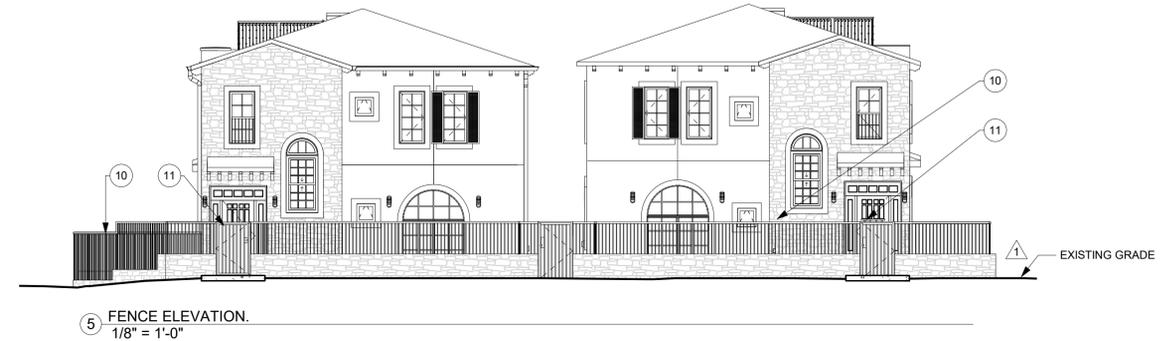
PROJECT TITLE: FROUDE RESIDENCES PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107		CITY COMMENTS 07/11/18 CITY COMMENTS 09/11/18 DESIGN CHANGES 09/11/18 CITY COMMENTS 02/21/19
ARCHITECT: S F E I R ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CA 92122 P: 619-299-3917 F: 619-299-5084 www.sfeirarch.com		LICENSED ARCHITECT MICHEL SFEIR No. C 28543 REN. 1-31-21 STATE OF CALIFORNIA
OWNER: RICHARD HARMON/ JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110		APPROVAL STAMP:
ARCHITECT: SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL.(619)299-3917 FAX(619)299-5084		SHEET NUMBER: PROJECT #: 01737.00 DRAWN BY: JP CHECKED BY: EL SCALE: 1/4" = 1'-0" DRAWING PREPARATION DATE: 4/2/18 SHEET 7 OF 11
STRUCTURAL: SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011		
ME&P: SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111		ROOF PLAN
CIVIL: KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101		
LANDSCAPE: JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124		
GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS 5931 SEA LION PLACE, SUITE 109 CARLSBAD, CALIFORNIA 92010		
INTERIOR: ISLEY DESIGN 1982 PALMERO AVENUE ESCONDIDO, CALIFORNIA 92029		



1 NORTH ELEVATION, BUILDING 1.
1/8" = 1'-0"



4 EAST ELEVATIONS.
1/8" = 1'-0"



5 FENCE ELEVATION.
1/8" = 1'-0"

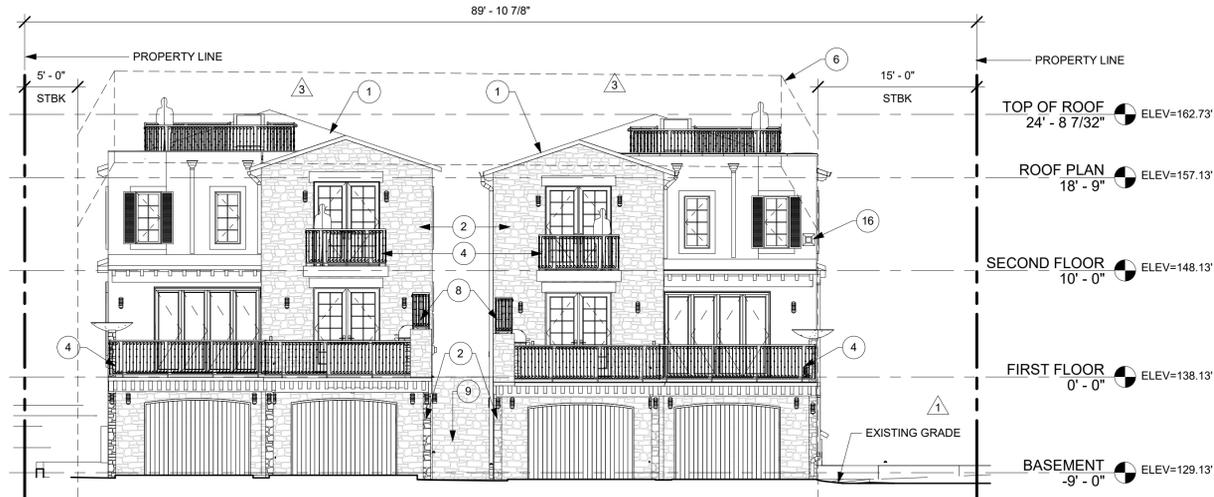
EXTERIOR FINISHES SCHEDULE

STUCCO	SMOOTH-COAT / VANILLA CREAM	BY OMEGA / COLORTEK
STONE	ORCHARD CYPRESS RIDGE	BY EL DORADO STONE
PRECAST CONCRETE	PEBBLE	BY SEAWRIGHT CUSTOM PRECAST CONCRETE
WINDOWS	WOOD AND ALUMINIUM CLAD	BY PELLA
DOORS	WOOD	BY PELLA
BIFOLD DOOR	WOOD AND ALUMINIUM	BY LA CANTINA
RAILING	WROUGHT IRON	BY SAN DIEGO IRONWORK
FENCE	WROUGHT IRON	BY SAN DIEGO IRONWORK
CONCRETE ROOF TILE	VILLA 900 / CALIFORNIA MISSION BLEND	BY BORAL
WALL CAP	PEBBLE	BY SEAWRIGHT CUSTOM PRECAST CONCRETE

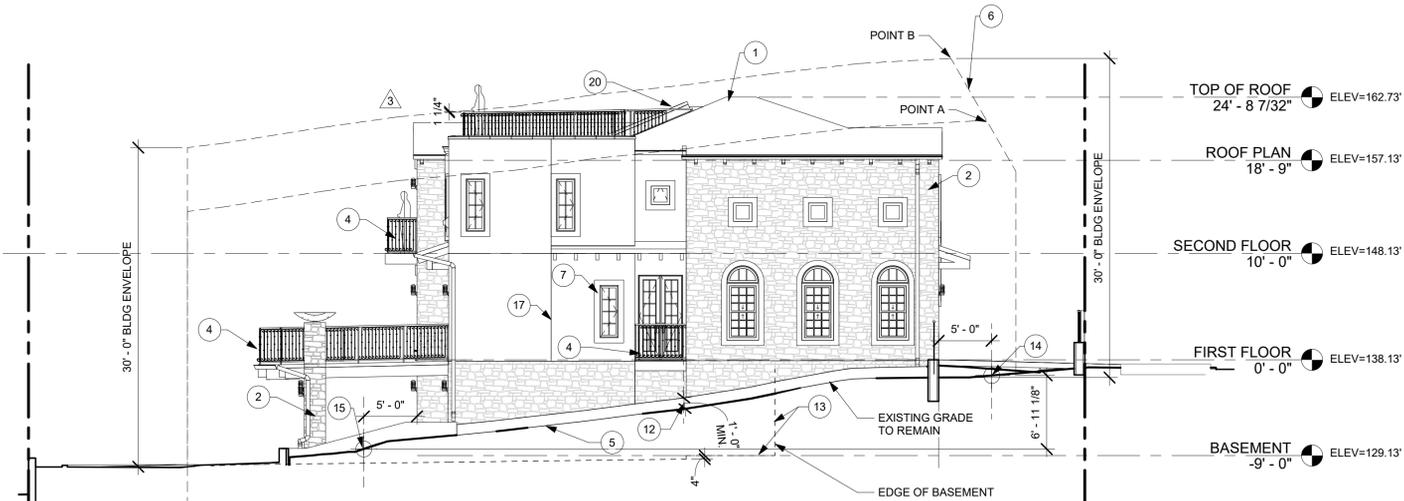
EXTERIOR ELEVATION

KEYNOTES:

- 1 CONCRETE ROOF TILE. REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION.
- 2 STONE VENEER.
- 3 7/8", 3-COAT EXTERIOR STUCCO O/ MTL. LATH O/ #60 BLDG. PAPER.
- 4 DECORATIVE WROUGHT-IRON RAILING.
- 5 PROPOSED GRADE.
- 6 ZONING HEIGHT ENVELOPE.
- 7 PRECAST CONCRETE WINDOW TRIM, TYP. COLOR SELECTED BY OWNER AND/OR ARCHITECT.
- 8 PRIVACY SCREEN.
- 9 RETAINING WALL.
- 10 WROUGHT-IRON FENCE.
- 11 WROUGHT-IRON GATE.
- 12 NO STONE VENEER OR STUCCO WITHIN 12" OF FINISHED GRADE. AT BUILDING WALLS. WOOD FRAMING TO BE MINIMUM 4" ABOVE EDGE OF STONE VENEER.
- 13 EDGE OF WALL AND FLOOR BEYOND.
- 14 COASTAL DEVELOPMENT HEIGHT DATUM POINT
- 15 COASTAL DEVELOPMENT HEIGHT LOW POINT
- 16 GAS FIRE PLACE TERMINATION DISCHARGE BY "DIRECT TEMP."
- 17 CONTROL JOINT.
- 18 LAUNDRY VENT.
- 19 EXISTING GRADE
- 20 ROOF DOOR.

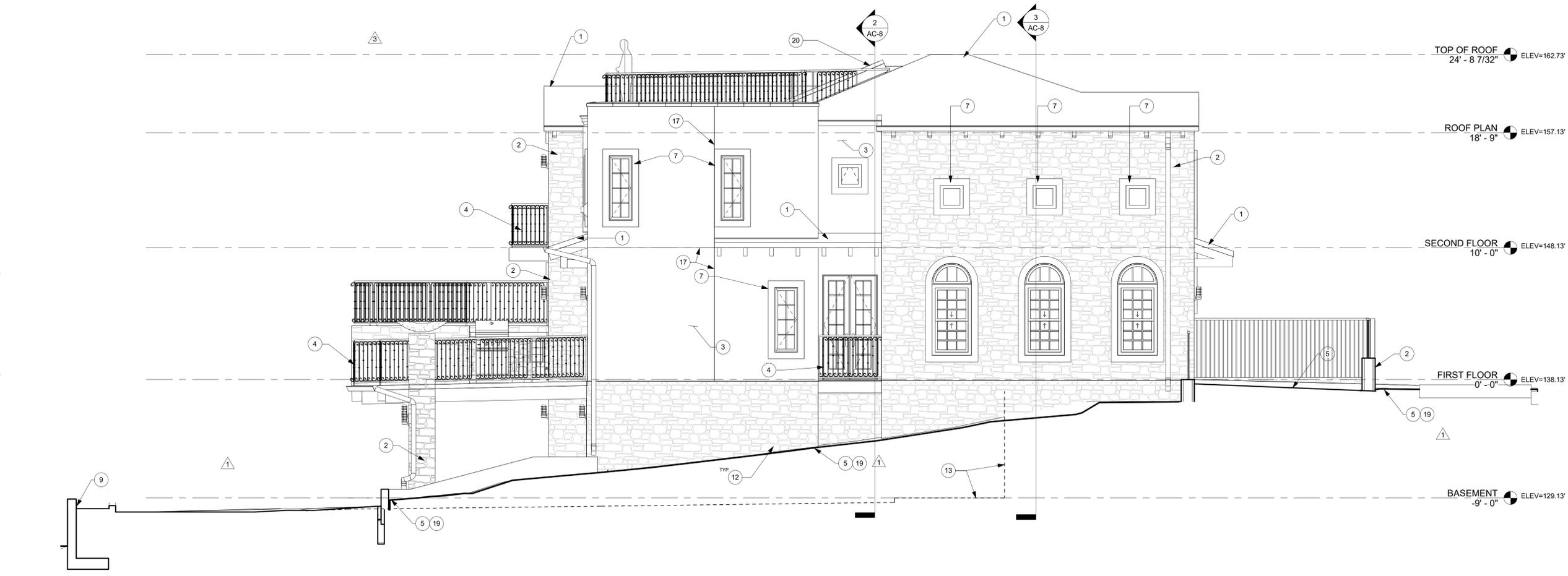


2 WEST ELEVATIONS.
1/8" = 1'-0"



3 SOUTH ELEVATION, BUILDING 1.
1/8" = 1'-0"

PROJECT TITLE: FROUDE RESIDENCES		<table border="0"> <tr><td>▲ CITY COMMENTS</td><td>07/11/18</td></tr> <tr><td>▲ CITY COMMENTS</td><td>09/11/18</td></tr> <tr><td>▲ DESIGN CHANGES</td><td>09/11/18</td></tr> <tr><td>▲ CITY COMMENTS</td><td>02/21/19</td></tr> </table>	▲ CITY COMMENTS	07/11/18	▲ CITY COMMENTS	09/11/18	▲ DESIGN CHANGES	09/11/18	▲ CITY COMMENTS	02/21/19
▲ CITY COMMENTS	07/11/18									
▲ CITY COMMENTS	09/11/18									
▲ DESIGN CHANGES	09/11/18									
▲ CITY COMMENTS	02/21/19									
PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107		REV: DESCRIPTION: DATE:								
ARCHITECT: S F E I R ARCHITECTS 5151 Shoreham Place, Suite 100 San Diego, CA 92122										
P: 619-299-3917 F: 619-299-5084 www.sfeirarch.com										
OWNER:	RICHARD HARMON/ JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110	APPROVAL STAMP:								
ARCHITECT:	SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL:(619)299-3917 FAX:(619)299-5084									
STRUCTURAL:	SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011									
ME&P:	SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111									
CIVIL:	KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101									
LANDSCAPE:	JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124									
GEOTECHNICAL:	SMS GEOTECHNICAL SOLUTIONS 5931 SEA LION PLACE, SUITE 109 CARLSBAD, CALIFORNIA 92010									
INTERIOR:	ISLEY DESIGN 1982 PALMERO AVENUE ESCONDIDO, CALIFORNIA 92029									
PROJECT #: 01737.00		SHEET NUMBER: 8 OF 11								
DRAWN BY: JP		AC-5								
CHECKED BY: EL										
SCALE: As indicated		DRAWING PREPARATION DATE: 4/2/18								

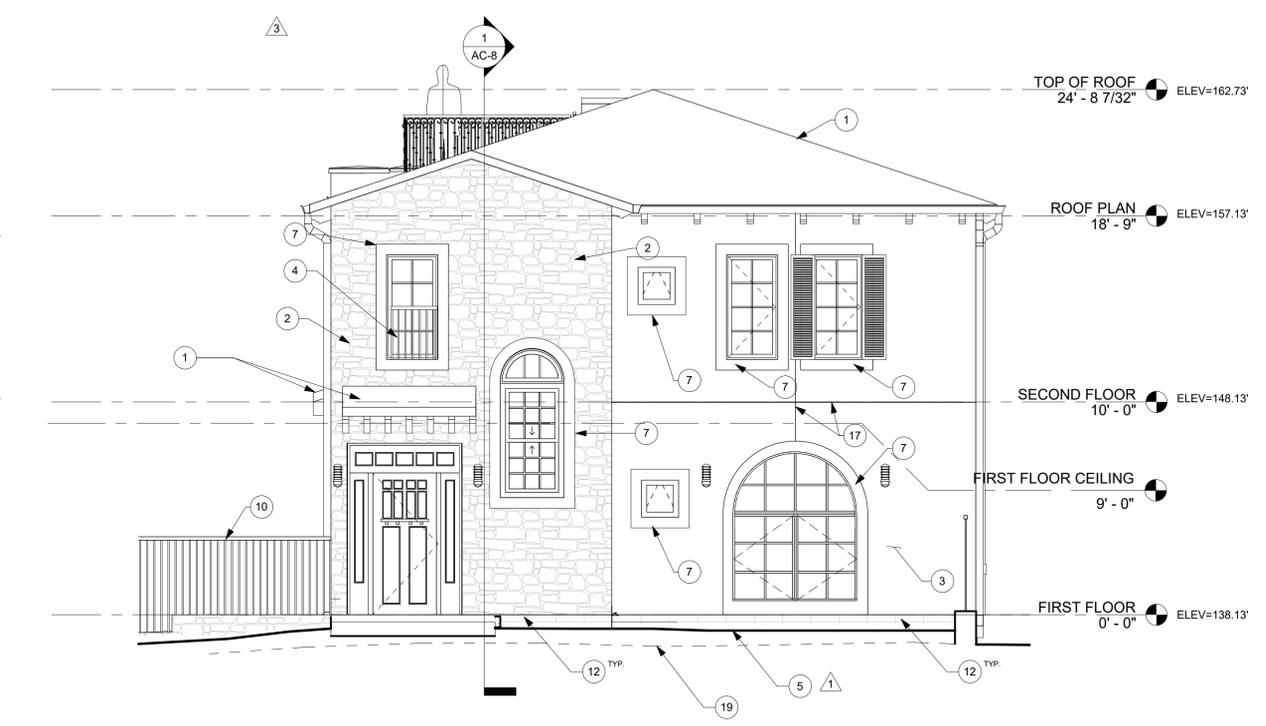


1 SOUTH ELEVATION, BUILDING 1/4.
1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE		
STUCCO	SMOOTH-COAT / VANILLA CREAM	BY OMEGA / COLORTEK
STONE	ORCHARD CYPRESS RIDGE	BY EL DORADO STONE
PRECAST CONCRETE	PEBBLE	BY SEAWRIGHT CUSTOM PRECAST CONCRETE
WINDOWS	WOOD AND ALUMINIUM CLAD	BY PELLA
DOORS	WOOD	BY PELLA
BIFOLD DOOR	WOOD AND ALUMINIUM	BY LA CANTINA
RAILING	WROUGHT IRON	BY SAN DIEGO IRONWORK
FENCE	WROUGHT IRON	BY SAN DIEGO IRONWORK
CONCRETE ROOF TILE	VILLA 900 / CALIFORNIA MISSION BLEND	BY BORAL
WALL CAP	PEBBLE	BY SEAWRIGHT CUSTOM PRECAST CONCRETE

EXTERIOR ELEVATION KEYNOTES:

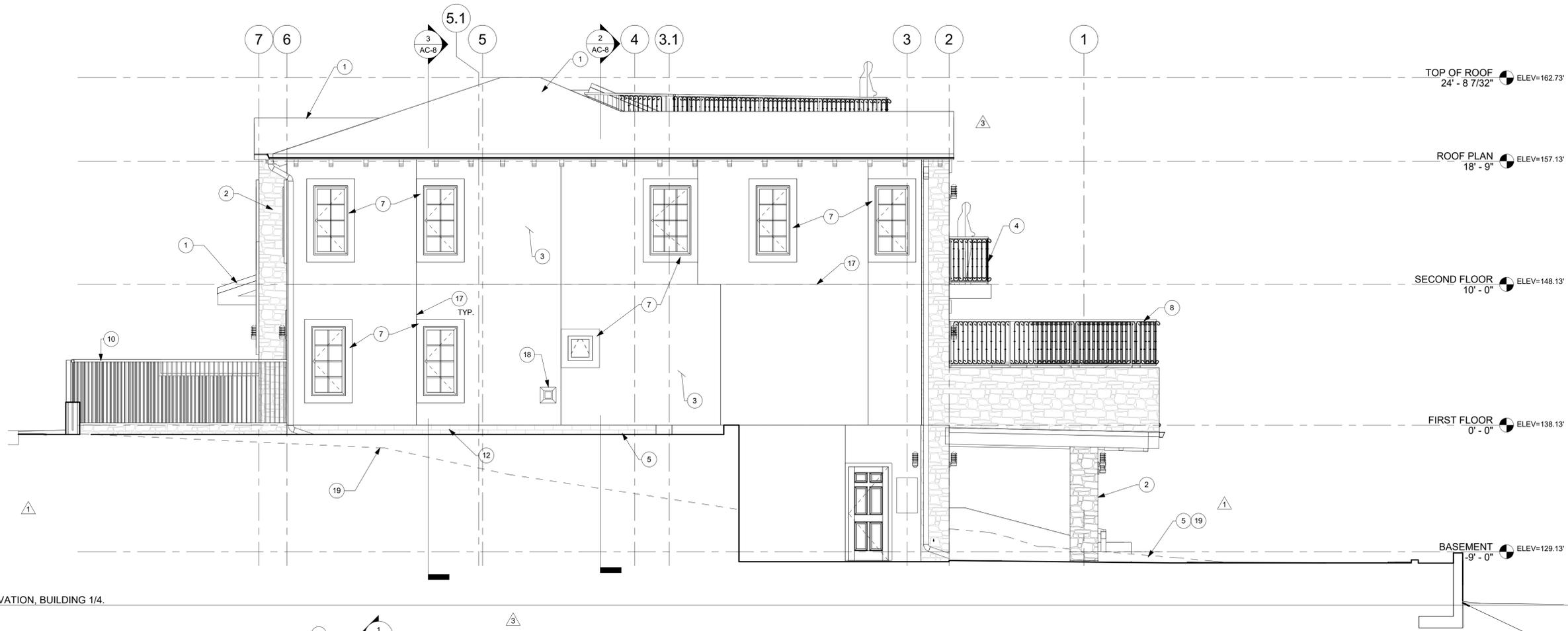
- 1 CONCRETE ROOF TILE. REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION.
- 2 STONE VENEER.
- 3 7/8", 3-COAT EXTERIOR STUCCO O/ MTL. LATH O/ #60 BLDG. PAPER.
- 4 DECORATIVE WROUGHT-IRON RAILING.
- 5 PROPOSED GRADE.
- 6 ZONING HEIGHT ENVELOPE.
- 7 PRECAST CONCRETE WINDOW TRIM, TYP. COLOR SELECTED BY OWNER AND/OR ARCHITECT.
- 8 PRIVACY SCREEN.
- 9 RETAINING WALL.
- 10 WROUGHT-IRON FENCE.
- 11 WROUGHT-IRON GATE.
- 12 NO STONE VENEER OR STUCCO WITHIN 12" OF FINISHED GRADE. AT BUILDING WALLS. WOOD FRAMING TO BE MINIMUM 4" ABOVE EDGE OF STONE VENEER.
- 13 EDGE OF WALL AND FLOOR BEYOND.
- 14 COASTAL DEVELOPMENT HEIGHT DATUM POINT
- 15 COASTAL DEVELOPMENT HEIGHT LOW POINT
- 16 GAS FIRE PLACE TERMINATION DISCHARGE BY "DIRECT TEMP."
- 17 CONTROL JOINT.
- 18 LAUNDRY VENT.
- 19 EXISTING GRADE
- 20 ROOF DOOR.



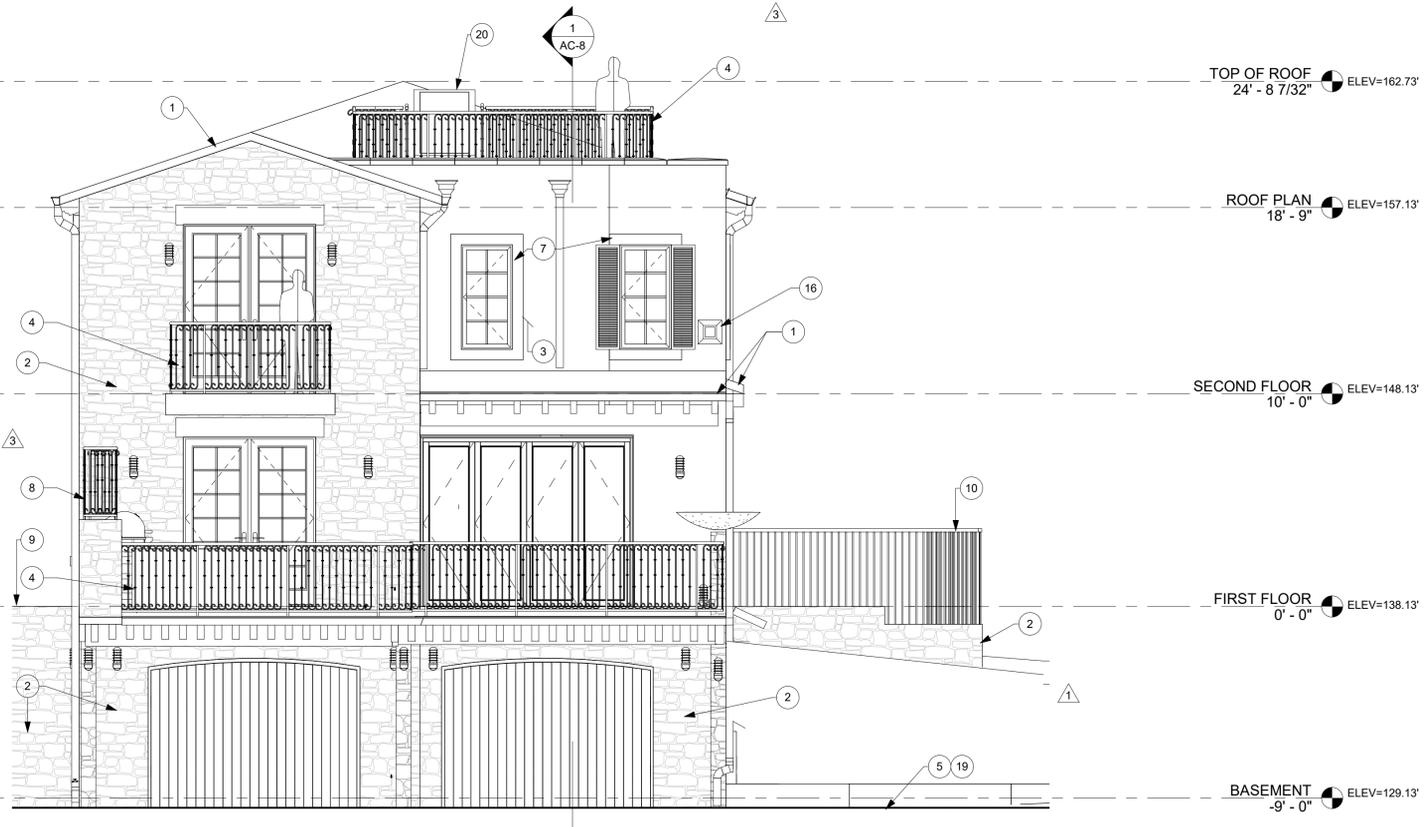
2 EAST ELEVATIONS 1/4.
1/4" = 1'-0"

PROJECT TITLE: FROUDE RESIDENCES PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107		CITY COMMENTS CITY COMMENTS DESIGN CHANGES CITY COMMENTS	07/11/18 09/11/18 09/11/18 02/21/19
ARCHITECT: S F E I R ARCHITECTS 5151 Shoreham Place, Suite 100 San Diego, CA 92122 P: 619-299-3917 F: 619-299-5084 www.sfeirarch.com		LICENSED ARCHITECT MICHEL SFEIR No. C 28543 REG. 1-31-21 STATE OF CALIFORNIA	
OWNER: RICHARD HARMON/ JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110		APPROVAL STAMP:	
ARCHITECT: SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL:(619)299-3917 FAX:(619)299-5084		SHEET TITLE: 1/4" EXTERIOR ELEVATIONS	
STRUCTURAL: SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011		PROJECT #: 01737.00 SHEET NUMBER: AC-6	
ME&P: SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111		DRAWN BY: JP CHECKED BY: EL	
CIVIL: KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101		SCALE: 1/4" = 1'-0" DRAWING PREPARATION DATE: 4/2/18	
LANDSCAPE: JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124		SHEET 9 OF 11	
GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS 5931 SEA LION PLACE, SUITE 109 CARLSBAD, CALIFORNIA 92010		INTERIOR: ISLEY DESIGN 1982 PALMERO AVENUE ESCONDIDO, CALIFORNIA 92029	

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1 NORTH ELEVATION, BUILDING 1/4.
1/4" = 1'-0"



2 WEST ELEVATIONS 1/4.
1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE

STUCCO	SMOOTH-COAT / VANILLA CREAM	BY OMEGA / COLORTEK
STONE	ORCHARD CYPRESS RIDGE	BY EL DORADO STONE
PRECAST CONCRETE	PEBBLE	BY SEAWRIGHT CUSTOM PRECAST CONCRETE
WINDOWS	WOOD AND ALUMINIUM CLAD	BY PELLA
DOORS	WOOD	BY PELLA
BIFOLD DOOR	WOOD AND ALUMINIUM	BY LA CANTINA
RAILING	WROUGHT IRON	BY SAN DIEGO IRONWORK
FENCE	WROUGHT IRON	BY SAN DIEGO IRONWORK
CONCRETE ROOF TILE	VILLA 900 / CALIFORNIA MISSION BLEND	BY BORAL
WALL CAP	PEBBLE	BY SEAWRIGHT CUSTOM PRECAST CONCRETE

- ### EXTERIOR ELEVATION KEYNOTES:
- CONCRETE ROOF TILE. REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION.
 - STONE VENEER.
 - 7/8", 3-COAT EXTERIOR STUCCO O/ MTL. LATH O/ #60 BLDG. PAPER.
 - DECORATIVE WROUGHT-IRON RAILING.
 - PROPOSED GRADE.
 - ZONING HEIGHT ENVELOPE.
 - PRECAST CONCRETE WINDOW TRIM, TYP. COLOR SELECTED BY OWNER AND/OR ARCHITECT.
 - PRIVACY SCREEN.
 - RETAINING WALL.
 - WROUGHT-IRON FENCE.
 - WROUGHT-IRON GATE.
 - NO STONE VENEER OR STUCCO WITHIN 12" OF FINISHED GRADE. AT BUILDING WALLS. WOOD FRAMING TO BE MINIMUM 4" ABOVE EDGE OF STONE VENEER.
 - EDGE OF WALL AND FLOOR BEYOND.
 - COASTAL DEVELOPMENT HEIGHT DATUM POINT
 - COASTAL DEVELOPMENT HEIGHT LOW POINT
 - GAS FIRE PLACE TERMINATION DISCHARGE BY "DIRECT TEMP."
 - CONTROL JOINT.
 - LAUNDRY VENT.
 - EXISTING GRADE
 - ROOF DOOR.

PROJECT TITLE:
FROUDE RESIDENCES

PROJECT ADDRESS:
1750 Froude Street
Ocean Beach, CA 92107

ARCHITECT:
S F E I R ARCHITECTS
5151 Shoreham Place, Suite 100
San Diego, CA 92122
P: 619-299-3917
F: 619-299-5084
www.sfeirarch.com

OWNER:
RICHARD HARMON/ JEFF BECKER
GOOD-MEN CONSTRUCTION INC.
3940 HANCOCK STREET, SUITE 220
SAN DIEGO, CALIFORNIA 92110

ARCHITECT:
SFEIR ARCHITECTS
5151 SHOREHAM PLACE, SUITE 100
SAN DIEGO, CALIFORNIA 92122
TEL:(619)299-3917 FAX:(619)299-5084

STRUCTURAL:
SSE
2091 LAS PALMAS DRIVE, SUITE D
CARLSBAD, CALIFORNIA 92011

ME&P:
SALEHEI ENGINEERING
8360 CLAIREMONT MESA BLVD,
SUITE 111
SAN DIEGO, CALIFORNIA 92111

CIVIL:
KETTLER LEWICK
303 A STREET, SUITE 302
SAN DIEGO, CALIFORNIA 92101

LANDSCAPE:
JPBLA
4403 MANCHESTER, 201
ENCINITAS, CALIFORNIA 92124

GEOTECHNICAL:
SMS GEOTECHNICAL SOLUTIONS
5931 SEA LION PLACE, SUITE 109
CARLSBAD, CALIFORNIA 92010

INTERIOR:
ISLEY DESIGN
1982 FALSBRO AVENUE
ESCONDIDO, CALIFORNIA 92029

APPROVAL STAMP:
LICENSED ARCHITECT
MICHEL SFEIR
No. C 28543
REN. 1-31-21
STATE OF CALIFORNIA

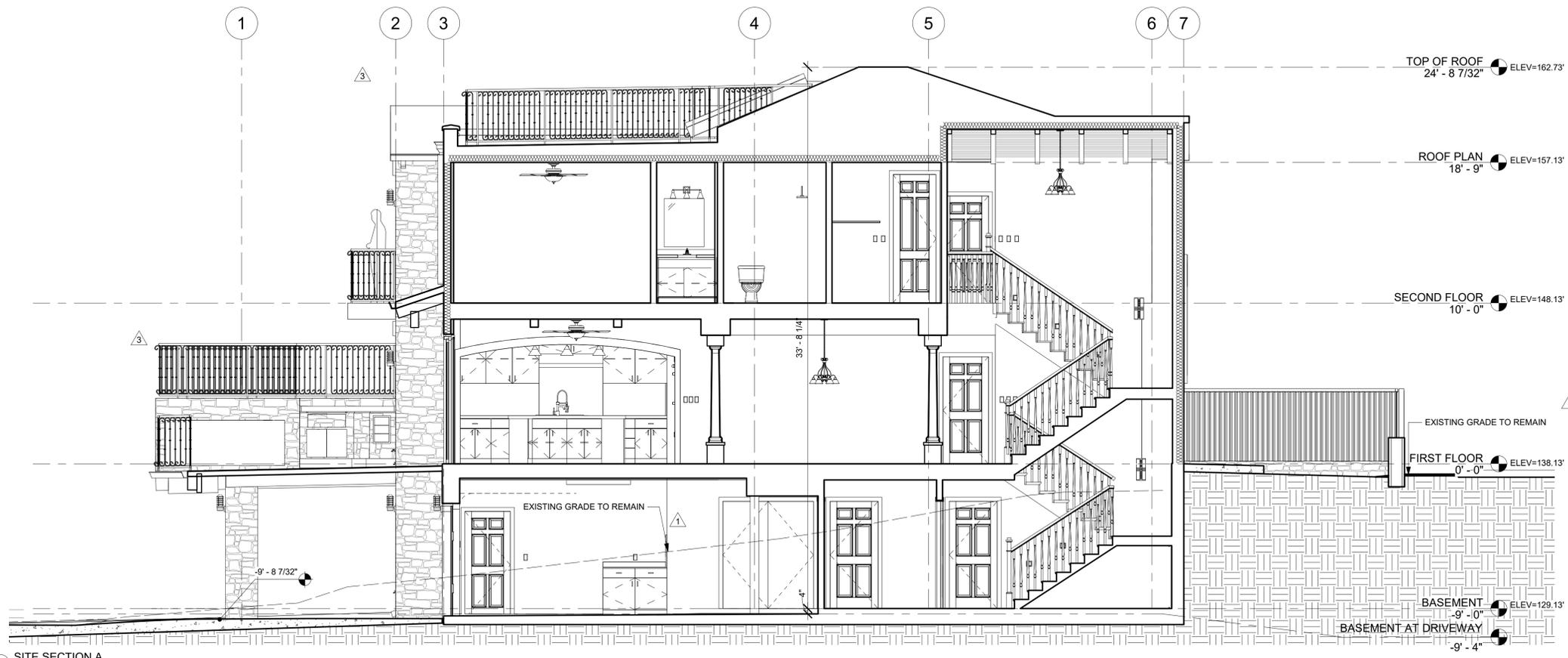
PROJECT #:
01737.00

SHEET NUMBER:
AC-7

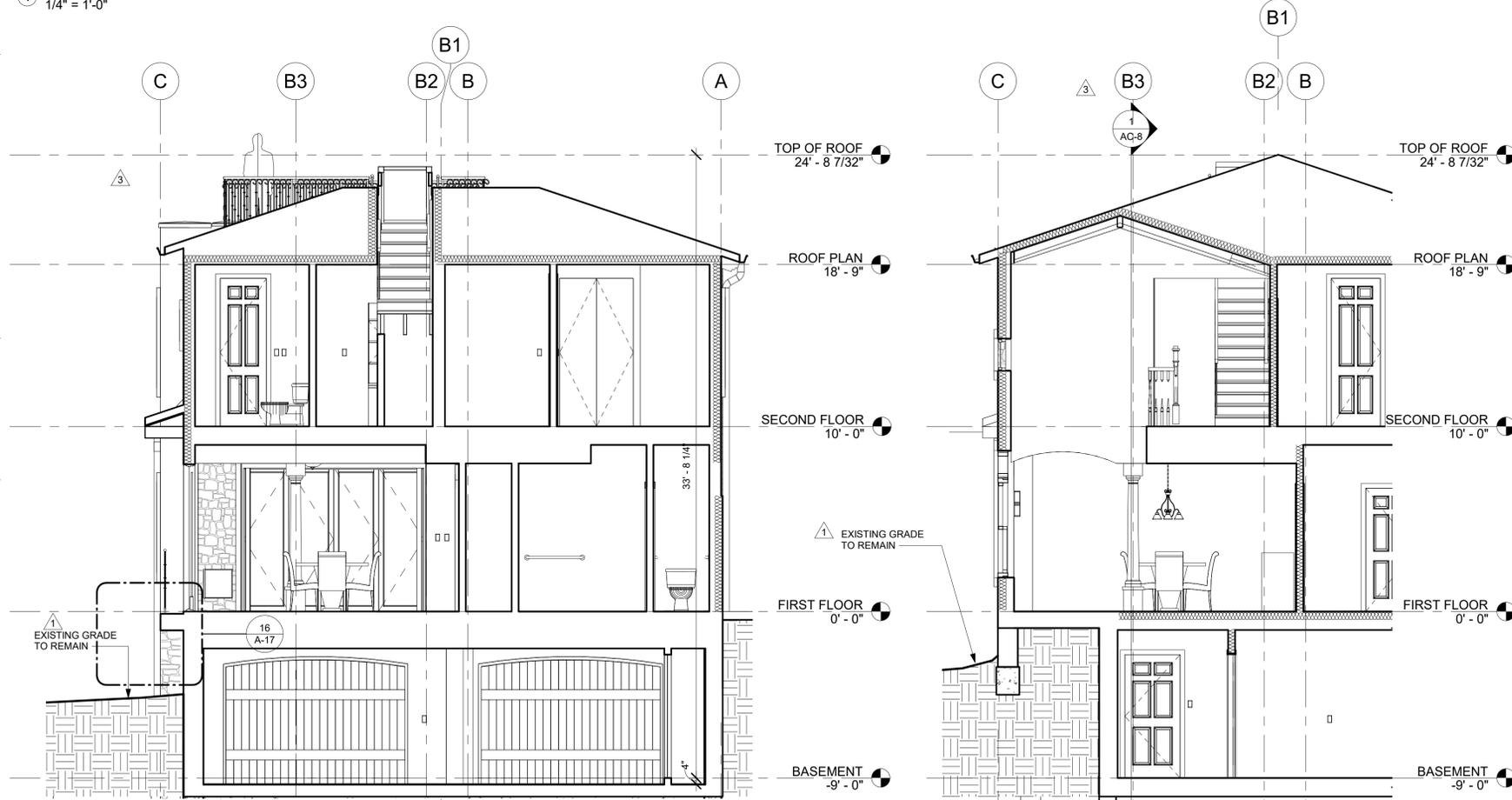
SCALE:
1/4" = 1'-0"

DRAWING PREPARATION DATE:
4/2/18

SHEET 10 OF 11



1 SITE SECTION A.
1/4" = 1'-0"

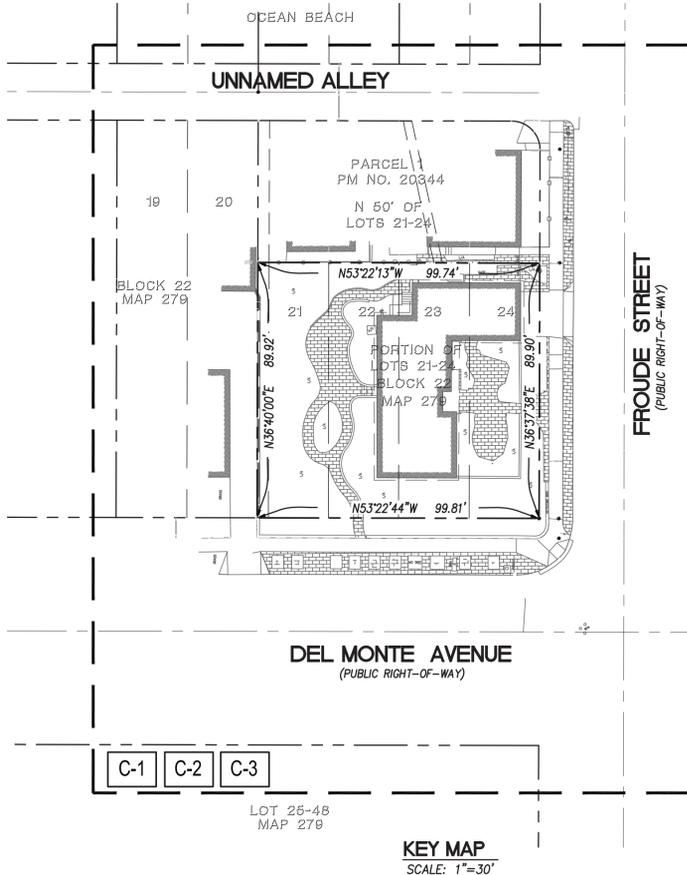


2 SECTION B.
1/4" = 1'-0"

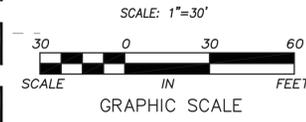
3 ENTRY SECTION.
1/4" = 1'-0"

PROJECT TITLE: FROUDE RESIDENCES PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107		CITY COMMENTS: 07/11/18 CITY COMMENTS: 09/11/18 DESIGN CHANGES: 09/11/18 CITY COMMENTS: 02/21/19
ARCHITECT: S F E I R ARCHITECTS 5151 Shoreham Place, Suite 100 San Diego, CA 92122 P: 619-299-3917 F: 619-299-5084 www.sfeirarch.com		LICENSED ARCHITECT MICHEL SFEIR No. C 28543 REN. 1-31-21 STATE OF CALIFORNIA
OWNER: RICHARD HARMON/ JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110		APPROVAL STAMP:
ARCHITECT: SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL(619)299-3917 FAX(619)299-5084		SHEET TITLE: BUILDING SECTIONS PROJECT #: 01737.00 SHEET NUMBER: AC-8 DRAWN BY: JP CHECKED BY: EL SCALE: 1/4" = 1'-0" DRAWING PREPARATION DATE: 4/2/18 SHEET 11 OF 11
STRUCTURAL: SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011		
ME&P: SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111		
CIVIL: KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101		
LANDSCAPE: JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124		
GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS 5931 SEA LION PLACE, SUITE 109 CARLSBAD, CALIFORNIA 92010		
INTERIOR: ISLEY DESIGN 1982 FALSBRO AVENUE ESCONDIDO, CALIFORNIA 92029		

TENTATIVE MAP NO. 2167006



POINT LOMA HEIGHTS MAP 1108

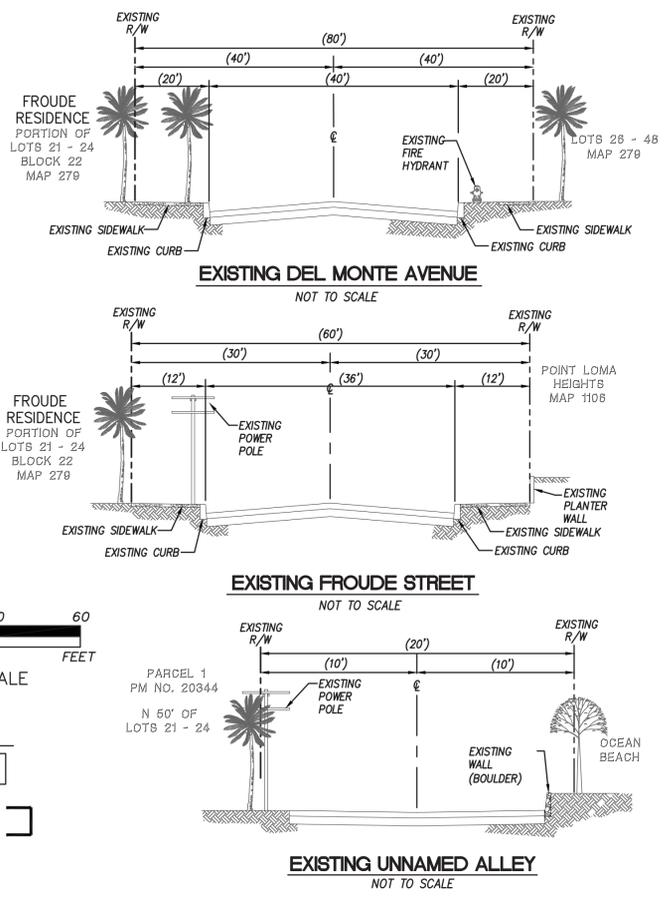


KEY MAP LEGEND



KEY MAP

SCALE: 1"=30'



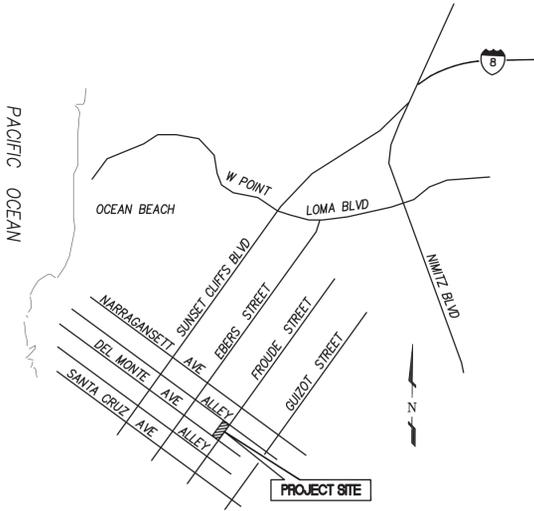
- ### LEGEND
- #### EXISTING IMPROVEMENTS
- EX R/W, PROPERTY LINE/TM BOUNDARY
 - EXISTING TELEPHONE
 - EXISTING CONTOURS
 - EXISTING CURB & GUTTER
 - EXISTING SIDEWALK
 - EXISTING PEDESTRIAN RAMP
 - EXISTING STORM DRAIN PIPE
 - EXISTING STORM DRAIN CLEANOUT
 - EXISTING STORM DRAIN CURB INLET
 - EXISTING WATER MAIN
 - EXISTING FIRE HYDRANT
 - EXISTING GATE VALVE
 - EXISTING SEWER MAIN
 - EXISTING SEWER MANHOLE
 - EXISTING SEWER LATERAL
 - EXISTING GAS
 - EXISTING DRIVEWAY
 - EXISTING ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING ELECTRIC VAULT
 - EXISTING PEDESTAL
 - EXISTING STREET SIGN
 - EXISTING STREET LIGHTS (SEE TABLE ON SHEET C-3)
 - EXISTING TREES
 - EXISTING SURVEY MONUMENT AS NOTED ON SHEET C-2

ABBREVIATION

- AC= ASPHALT CONCRETE
- BF= BACKFLOW
- BW= BACK OF WALK
- CL= CENTER LINE
- CONC= CONCRETE
- DI= DRAIN INLET
- EB= ELECTRIC BOX
- EM= ELECTRIC METER
- E-PNL= ELECTRIC PANEL
- FL= FLOW LINE
- FF= FINISH FLOOR
- FS= FINISH SURFACE
- G= GROUND
- GV= GAS VALVE
- GB= GRADE BREAK
- GM= GAS METERS/REGULATORS
- GP= GUARD POST
- GSO= GAS SHUT OFF
- HCLD= HANDICAP LOADING
- IE= INVERT ELEVATION
- IRB= IRRIGATION BOX
- LND= LEAD AND SURVEYOR'S DISC
- PED= PEDESTAL
- PL= PROPERTY LINE
- R/W= RIGHT OF WAY
- SDO= SEWER CLEAN OUT
- SDI/MH= STORM DRAIN INLET W/MANHOLE
- SLB= STREET LIGHT BOX
- SMH= SEWER MANHOLE
- RSR= UTILITY RISER
- TC= TOP OF CURB
- TR= TELECOMM RISER
- TR= ELECTRIC TRANSFORMER
- TS= TRAFFIC SIGNAL
- TSB= TRAFFIC SIGNAL BOX
- TSC= TRAFFIC SIGNAL CONTROL
- TW= TOP OF WALL
- WM= WATER METER
- WV= WATER VALVE

GRADING QUANTITIES

GRADED AREA	8,973 SF
CUT QUANTITIES	1,100 CYD
FILL QUANTITIES	50 CYD
EXPORT	1,050 CYD
MAX. CUT DEPTH 10 FT (UNDER FOOTPRINT OF PROPOSED BUILDING)	
MAX CUT SLOPE RATIO (2:1 MAX) N/A	
MAX. FILL DEPTH 1 FT	
MAX FILL SLOPE RATIO (2:1 MAX) N/A	
THIS PROJECT PROPOSES TO EXPORT 1,050 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.	
EARTHWORK VOLUMES ARE APPROXIMATE AND GEOMETRIC ONLY AND DO NOT INCLUDE ADJUSTMENTS FOR BULKAGE/SHRINKAGE, UNDERCUTS, OR PIPES.	
TOTAL DISTURBANCE AREA	8,973 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	4,130 SF
AMOUNT OF CREATED IMPERVIOUS AREA	2,400 SF
AMOUNT OF REPLACED IMPERVIOUS AREA	3,200 SF
TOTAL PROPOSED IMPERVIOUS AREA	5,600 SF
IMPERVIOUS % INCREASE	35.6%
RETAINING WALLS	605 LF
MAXIMUM HEIGHT	6 FT



VICINITY MAP

NOT TO SCALE

OWNER/DEVELOPER

STATEMENT
RICHARD HARMON/JEFF BECKER
GOOD-MEN CONSTRUCTION INC.
 WE THE OWNERS OF OR ARE INTERESTED IN THE PROPERTY COVERED BY THIS MAP, HEREBY APPROVE SAID MAP AND THE FILING THEREOF.

BY: _____
 NAME: RICHARD HARMON
 TITLE: OWNER

SHEET INDEX

TITLE SHEET	1
EXISTING CONDITION PLAN	2
FINISH GRADING PLAN	3

NOTES

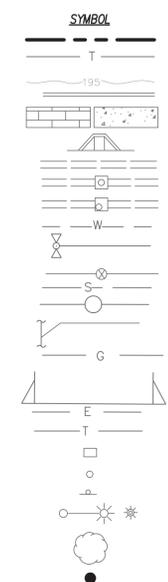
- THIS IS A SMALL LOT SUBDIVISION
- UTILITIES
 WATER: CITY OF SAN DIEGO
 SEWER: CITY OF SAN DIEGO
 GAS AND ELECTRIC: SAN DIEGO GAS AND ELECTRIC
 FIRE AND POLICE PROTECTION: CITY OF SAN DIEGO
 CABLE T.V.: COX COMMUNICATIONS
 NOTE: UNDERGROUND UTILITIES SHOWN HEREON ARE FROM AVAILABLE RECORDS. THERE ARE OVERHEAD ELECTRICAL UTILITIES FRONTING THE PROPERTY ON FROUDE STREET, AND UNNAMED ALLEY.
- GRADING
 A. CUT AND FILL SLOPES ARE 2:1 OR FLATTER EXCEPT AS SHOWN.
 B. GRADING SHOWN HEREON IS PRELIMINARY AND MAY BE ALTERED DURING FINAL DESIGN.
- DRAINAGE
 A. DRAINAGE FROM LOT TO BE DIRECTED TO PUBLIC STREETS.
- SCHOOLS: SAN DIEGO UNIFIED SCHOOL DISTRICT
- TOPOGRAPHY FOR THIS SITE WAS A FIELD SURVEY BY ALTA LAND SURVEYING DATED 12-28-2017 AND PROVIDED TO KETTLER LEWECK ENGINEERING.
- BUILDING ADDRESS NUMBERS FOR ALL STRUCTURES ON THIS SUBDIVISION SITE SHALL BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE SUBJECT PROPERTY.
- NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT MATURITY SHALL BE INSTALLED WITHIN 10' OF SEWER FACILITIES AND 5' OF ANY WATER FACILITIES.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICE NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

IMPROVEMENT NOTES

- EXISTING CURB, GUTTER AND SIDEWALK ON FROUDE STREET AND DEL MONTE AVENUE TO REMAIN AS IS, EXCEPT AS SPECIFICALLY SHOWN ON SHEET C-3.

MAPPING NOTE

- A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP, IF APPROVED. A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.
- THE EXISTING 4' WIDE EASEMENT FOR SEWER, WATER, AND DRAINAGE AND PUBLIC UTILITIES TO THE CITY OF SAN DIEGO RECORDED APRIL 3, 1958 IN BK 7021, PG 427, O.R. - TO BE VACATED.



OWNER/APPLICANT

RICHARD HARMON/JEFF BECKER
 GOOD-MEN CONSTRUCTION INC.
 3940 HANCOCK STREET, SUITE 220
 SAN DIEGO, CA 92110

ASSESSORS PARCEL NO.

448-492-12-00

LEGAL DESCRIPTION

PORTIONS LOTS 21, 22, 23, AND 24, BLOCK 22 OF OCEAN BEACH, ACCORDING TO MAP THEREOF NO 279, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, EXCEPTING THEREFROM THE NORTHEASTERLY 50 FEET THEREOF.

TOPOGRAPHY SOURCE

THE TOPOGRAPHY FOR THIS SITE IS BASED ON AN ON-THE-GROUND SURVEY PERFORMED 12-28-17 BY: ALTA LAND SURVEYING, INC. 9517 GROSSMONT SUMMIT DRIVE LA MESA, CA 91941 (619) 713-2582

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE 7 FOOT OFFSET LINE TO THE SOUTHWESTERLY LINE OF BLOCK 22 OF OCEAN BEACH, MAP NO. 279 AS SHOWN ON PARCEL MAP NO. 20344 FILED IN THE OFFICE OF THE COUNTY RECORDER, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA. SAID MAP IS TIED TO CGS NAD 83, ZONE 6, EPOCH 1991.35. I.E. NORTH 53°22'44" WEST

QUOTED BEARINGS FROM OTHER REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM

BENCHMARK

THE BENCHMARK USED FOR THIS SURVEY IS THE BRASS PLUG AT THE NORTHWEST CORNER OF FROUDE STREET AND DEL MONTE AVENUE AS PUBLISHED IN THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK, OCTOBER 2011. ELEVATION: 135.663 DATUM: MEAN SEA LEVEL

GRADING PERMIT EXEMPTION

- BASED ON THE SAN DIEGO MUNICIPAL CODE (SECTION 129.0602):
- NO GRADING IS PROPOSED WITHIN OPEN SPACE EASEMENTS OR CITY OWNED OPEN SPACE.
 - NO GRADING IS PROPOSED FOR THE RESTORATION OF UNAUTHORIZED GRADING.
 - NO GRADING IS PROPOSED WITHIN THE SPECIAL FLOOD HAZARD AREA.
 - NO CONDITIONS OF A DEVELOPMENT PERMIT REQUIRE A GRADING PERMIT.
- THE SLOPE GRADIENTS ARE 4:1 OR FLATTER.
 - THE DEPTH OF EXCAVATION OR FILL IS LESS THAN 5' MEASURED VERTICALLY (OUTSIDE OF BUILDING FOOTPRINT).
 - THE SLOPE GRADIENTS WILL NOT EXCEED THOSE SPECIFIED IN SECTIONS 142.0133.
 - TOTAL DISTURBED AREA (INCLUDING MINOR LANDSCAPE AREAS) IS LESS THAN 1 ACRE (ACTUAL IS APPROXIMATELY 8,973 SF. (0.206 ACRE).
 - THE GRADING WILL NOT ADVERSELY AFFECT THE EXISTING DRAINAGE PATTERNS, CONCENTRATE RUNOFF, INCREASE THE QUANTITY OF RUNOFF, OR INCREASE THE VELOCITY OF RUNOFF TO ADJACENT PROPERTIES.
 - FILL MATERIAL WILL NOT CONTAIN MORE THAN 5% BY VOLUME, OF BROKEN CONCRETE, ASPHALT, MASONRY, OR CONSTRUCTION DEBRIS.
 - FILL MATERIAL WILL NOT HAVE PIECES LARGER THAN 12 INCHES IN ANY DIRECTION.
 - NO BLASTING OR OTHER USE OF EXPLOSIVES IS REQUIRED.
 - THIS ITEM DOESN'T APPLY TO THE PROPOSED PROJECT.

NAD83 COORDINATES

1850-6253

LAMBERT COORDINATES

210-1693

ZONING DESIGNATION

RM-1-1

PROJECT TEAM:

CIVIL ENGINEERS: KETTLER LEWECK ENGINEERING
 (619) 269-3444

ZONING DESIGNATION:

RM-1-1 (RESIDENTIAL - MULTIPLE UNIT)

PROJECT INDEX:

LAMBERT COORDINATES: 210-1693
 NAD83 COORDINATES: 1850-6253

PREPARED BY:

Name: KETTLER LEWECK ENGINEERING
 Address: 1620 5TH AVENUE, SUITE 675
 SAN DIEGO, CA 92101
 Phone no.: (619) 269-3444

PROJECT ADDRESS:

1750 FROUDE STREET
 SAN DIEGO, CA 92110

PROJECT NAME:

FROUDE RESIDENCES

SHEET TITLE:

TENTATIVE MAP - TITLE SHEET
 CITY PROJECT NUMBER: 604010
 I.O. NO: 24007896

EXISTING CONDITIONS:

OCCUPIED LOT
 EXISTING SITE AREA = 0.206 AC
 EXISTING LOTS = 4

PROPOSED USE:

OCCUPIED LOT
 NEW SITE AREA = 0.206 AC
 PROPOSED LOTS = 2

OWNER/DEVELOPER:

RICHARD HARMON/JEFF BECKER
 GOOD-MEN CONSTRUCTION INC.
 3940 HANCOCK STREET, SUITE 220
 SAN DIEGO, CA 92110
 TEL.: (619) 221-0873

- Revision 1: CITY COMMENTS 07/11/18
- Revision 2: CITY COMMENTS 09/11/18
- Revision 3: CITY COMMENTS 02/21/19
- Revision 4: DESIGN CHANGES 04/05/19
- Revision 5: _____
- Revision 6: _____
- Revision 7: _____

Original Date: 03/21/18

Sheet 1 of 3

DEP # _____

KETTLER LEWECK

ENGINEERING
 1620 5TH AVENUE, SUITE 675
 SAN DIEGO, CA 92101
 t: 619 269-3444 | f: 619 269-3459
 www.kettlerleweck.com

ENGINEER OF WORK

1620 5TH AVENUE, SUITE 675
 SAN DIEGO, CA 92101
 PHONE NO. (619) 269-3444

BY: *[Signature]* DATE 4-5-19

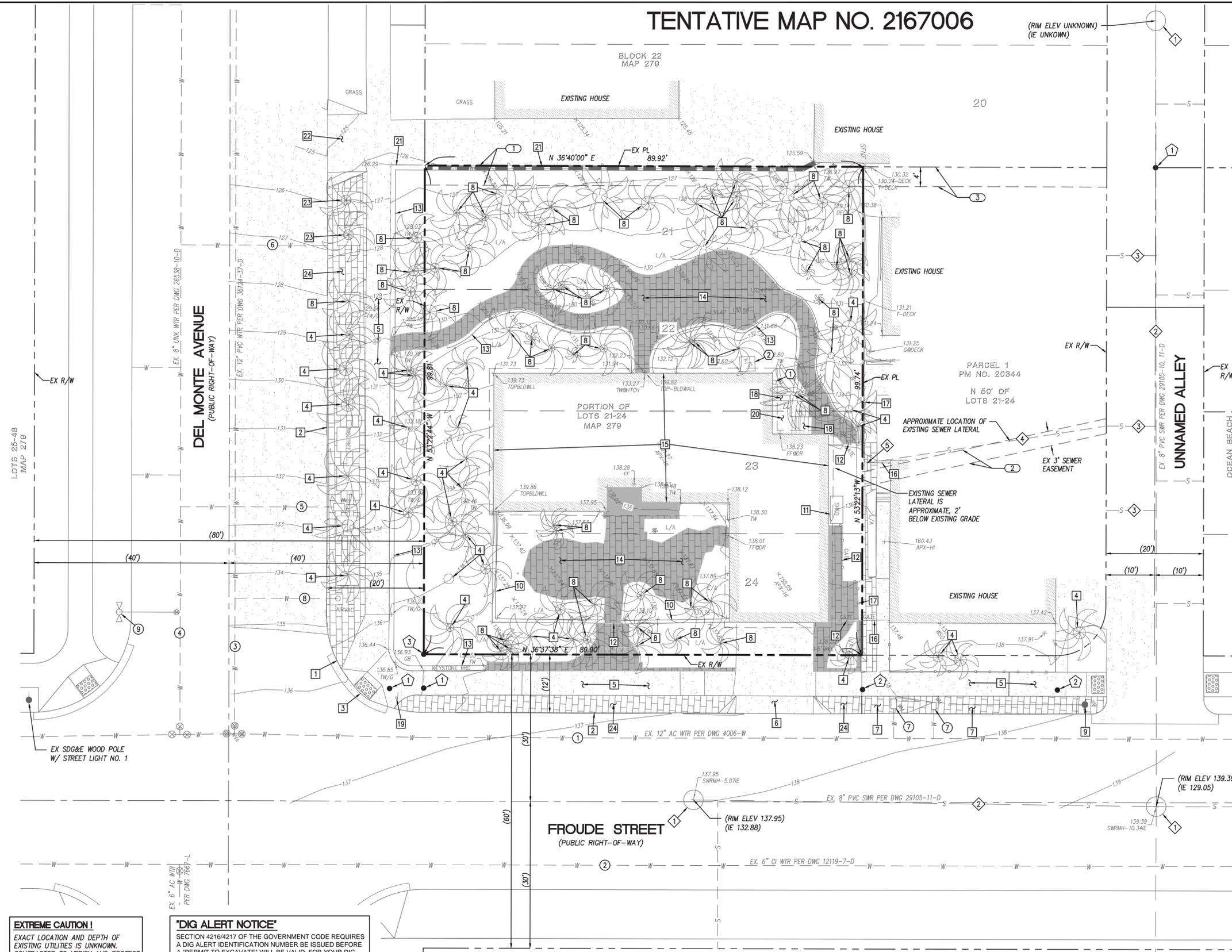


C-1

Richard Harmon

Digitally signed by Richard Harmon Date: 2019.11.20 12:01:00 -0800

TENTATIVE MAP NO. 2167006



KEY NOTES

SURFACE IMPROVEMENT

- 1 EXISTING CURB AND GUTTER TO REMAIN, PROTECT IN PLACE
- 2 EXISTING CURB TO REMAIN, PROTECT IN PLACE
- 3 EXISTING CURB RAMP (WITH TRUNCATED DOME) TO REMAIN, PROTECT IN PLACE
- 4 EXISTING TREE, PALM TREE, MULTIPLE TRUNK TREE TO REMAIN, PROTECT IN PLACE
- 5 EXISTING CONCRETE SIDEWALK TO REMAIN, PROTECT IN PLACE
- 6 EXISTING CONCRETE DRIVEWAY TO BE REMOVED AND REPLACED WITH C&G AND SIDEWALK
- 7 EXISTING PAVERS TO REMAIN, PROTECT IN PLACE
- 8 EXISTING TREE, PALM TREE, MULTIPLE TRUNK TREE TO BE REMOVED
- 9 EXISTING POWER POLE (WOOD) WITH OVERHEAD STEEL ANCHOR TO REMAIN, PROTECT IN PLACE
- 10 EXISTING PERIMETER WALL TO BE REMOVED
- 11 EXISTING SHED TO BE REMOVED
- 12 EXISTING GATE (WOOD) TO BE REMOVED
- 13 EXISTING WALL (PAVERS) TO BE REMOVED
- 14 EXISTING WALKWAY (IMPERVIOUS PAVERS) TO BE REMOVED
- 15 EXISTING BUILDING STRUCTURE (SLAB, UTILITY FIXTURES, I.E.) TO BE REMOVED PER SEPARATE PERMIT - ASSUMED SLAB ON GRADE
- 16 EXISTING GATE (WOOD) TO REMAIN, PROTECT IN PLACE
- 17 EXISTING FENCE (WOOD) TO REMAIN, PROTECT IN PLACE
- 18 EXISTING STAIR TO BE REMOVED
- 19 EXISTING STREET NAME SIGN TO REMAIN
- 20 EXISTING CONCRETE STOOP TO BE REMOVED
- 21 EXISTING KEYSTONE WALL TO BE REMOVED
- 22 EXISTING DRIVEWAY TO REMAIN, PROTECT IN PLACE
- 23 EXISTING TREE TO BE RELOCATED - SEE LANDSCAPE DRAWINGS
- 24 EXISTING IMPERVIOUS PAVERS TO BE REMOVED - SEE LANDSCAPE DRAWINGS

WATER

- 1 EXISTING 12" AC WATER PER DWG NO 4006-W TO REMAIN, PROTECT IN PLACE
- 2 EXISTING 6" CI WATER PER DWG NO 12119-7-D TO REMAIN, PROTECT IN PLACE
- 3 EXISTING 12" PVC WATER PER DWG NO 36124-37-D TO REMAIN, PROTECT IN PLACE
- 4 EXISTING 8" PIPE WATER PER DWG NO 26538-10-D TO REMAIN, PROTECT IN PLACE
- 5 EXISTING WATER SERVICE PER DWG NO 26538-10-D W/WATER METER TO REMAIN, PROTECT IN PLACE. BACKFLOW PREVENTER TO BE ADDED ON PRIVATE PROPERTY.
- 6 EXISTING WATER SERVICE PER DWG NO 26538-10-D WITHOUT WATER METER TO REMAIN, PROTECT IN PLACE
- 7 EXISTING WATER SERVICE PER DWG NO UNKNOWN WITH WATER METER TO REMAIN, PROTECT IN PLACE
- 8 EXISTING WATER AIR VACUUM PER DWG NO 36124-37-D TO REMAIN, PROTECT IN PLACE
- 9 EXISTING FIRE HYDRANT PER DWG NO 26538-10-D TO REMAIN, PROTECT IN PLACE

SEWER

- 1 EXISTING SEWER MANHOLE PER DWG NO 29105-10, 11-D TO REMAIN, PROTECT IN PLACE
- 2 EXISTING 8" PVC SEWER PER DWG NO 29105-10, 11-D TO REMAIN, PROTECT IN PLACE
- 3 EXISTING SEWER LATERAL PER DWG NO 29105-10, 11-D TO REMAIN, PROTECT IN PLACE
- 4 EXISTING SEWER LATERAL - EXACT LOCATION (HORIZONTAL AND VERTICAL) IS NOT KNOWN
- 5 EXISTING SEWER LATERAL PER DWG NO 29105-10 & 11-D TO BE CAPPED AT THE RIGHT OF WAY. PRESERVE LATERAL TO NEIGHBORING PROPERTY.

DRY UTILITIES

* ALL DRY UTILITIES ARE SHOWN HEREON AS REFERENCE ONLY. CONTRACTOR TO COORDINATE WITH DRY UTILITY CONSULTANTS FOR ANYTHING RELATED TO DRY UTILITIES.

- 1 EXISTING GAS METER TO BE REMOVED
- 2 EXISTING AIR CONDITION (A/C) UNIT TO BE REMOVED

LEGEND

- 7 EXISTING OFFSITE IMPERVIOUS PAVERS TO REMAIN OR TO BE REMOVED
- 14 EXISTING ONSITE IMPERVIOUS PAVERS TO BE REMOVED

EXTREME CAUTION!
EXACT LOCATION AND DEPTH OF EXISTING UTILITIES IS UNKNOWN. CONTRACTOR TO VERIFY AND PROTECT DURING CONSTRUCTION.

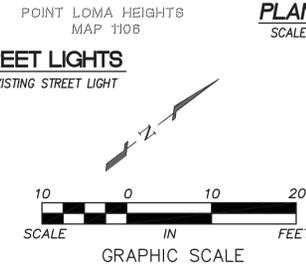
"DIG ALERT NOTICE"
SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 811 OR 1-800-227-2600, AT LEAST TWO WORKING DAYS BEFORE YOU DIG.

SURVEY MONUMENT NOTE:
EXISTING SURVEY MONUMENTS TO REMAIN. CONTRACTOR SHALL PROTECT IN PLACE EXISTING SURVEY MONUMENTS DURING CONSTRUCTION. IF EXISTING SURVEY MONUMENTS ARE DESTROYED, CONTRACTOR SHALL REPLACE THE EXISTING SURVEY MONUMENT.

- EXISTING SURVEY MONUMENT**
- 1 FOUND LEAD AND DISC STAMPED "SDCE" (TO REMAIN) - PROTECT IN PLACE
 - 2 FOUND LEAD AND DISC STAMPED "LS 7927" (TO REMAIN) - PROTECT IN PLACE
 - 3 FOUND 3/4 IRON PIPE WITH DISC STAMPED "LS 2201" (TO REMAIN) - PROTECT IN PLACE

- EXISTING EASEMENTS**
- 1 EXIST. 4" WIDE EASEMENT FOR SEWER, WATER, AND DRAINAGE AND PUBLIC UTILITIES TO THE CITY OF SAN DIEGO, REC. APRIL 3, 1958 IN BK 7021, PG 427, O.R. (ITEM NO. 5 OF THE PROJECT TITLE REPORT) - TO BE VACATED.
 - 2 AN EASEMENT GRANTED TO BERNARD C. COURTNEY AND MARY A. COURTNEY FOR SEWER AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JUNE 18, 1958 AS BOOK 7128, PAGE 30 OF OFFICIAL RECORDS, PER PM NO. 20344. (OFFSITE EASEMENT)
 - 3 AN EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR SEWER, WATER DRAINAGE AND PUBLIC UTILITIES AND THE RIGHT OF INGRESS AND EGRESS AND INCIDENTAL PURPOSES RECORDED APRIL 3, 1958 AS BOOK 7021, PAGE 427 OF OFFICIAL RECORDS, PER PM NO. 20344. (OFFSITE EASEMENT)

EXISTING STREET LIGHTS
SEE SHEET C-3 FOR EXISTING STREET LIGHT INFORMATION



KETTLER LEWECK ENGINEERING
1620 5TH AVENUE, SUITE 675
SAN DIEGO, CA 92101
t: 619 269-3444 | f: 619 269-3459
www.kettlerleweck.com



ENGINEER OF WORK
1620 5TH AVENUE, SUITE 675
SAN DIEGO, CA 92101
PHONE NO. (619) 269-3444
BY: *[Signature]* DATE 4-5-19

PROJECT TEAM:
CIVIL ENGINEERS: KETTLER LEWECK ENGINEERING
(619) 269-3444

ZONING DESIGNATION:
RM-1-1 (RESIDENTIAL - MULTIPLE UNIT)

PROPOSED USE:
OCCUPIED LOT
NEW SITE AREA = 0.206 AC
PROPOSED LOTS = 2

OWNER/DEVELOPER:
RICHARD HARMON/JEFF BECKER
GOOD-MEN CONSTRUCTION INC.
3940 HANCOCK STREET, SUITE 220
SAN DIEGO, CA 92110
TEL.: (619) 221-0873

REVISIONS:

Revision 1:	CITY COMMENTS 07/11/18
Revision 2:	CITY COMMENTS 09/11/18
Revision 3:	CITY COMMENTS 02/21/19
Revision 4:	DESIGN CHANGES 04/05/19
Revision 5:	
Revision 6:	
Revision 7:	

Original Date: 03/21/18

SHEET TITLE:
TENTATIVE MAP - EXISTING CONDITION
CITY PROJECT NUMBER: 604010
I.O. NO: 24007896

EXISTING CONDITIONS:
OCCUPIED LOT
EXISTING SITE AREA = 0.206 AC
EXISTING LOTS = 4

PROPOSED USE:
OCCUPIED LOT
NEW SITE AREA = 0.206 AC
PROPOSED LOTS = 2

OWNER/DEVELOPER:
RICHARD HARMON/JEFF BECKER
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Revision 5:	
Revision 6:	
Revision 7:	

Original Date: 03/21/18

Sheet 2 of 3

DEP #

C-2

Richard Harmon
Digitally signed by Richard Harmon
Date: 2019.11.20 12:13:38 -0800

TENTATIVE MAP NO. 2167006

LEGEND

IMPROVEMENT	STANDARD DWGS.	SYMBOL
RIGHT-OF-WAY (R/W)/PROPERTY LINE (PL)& TM BOUNDARY		---
6" TYPE '6' CURB & GUTTER/PRIVATE	SDG-151	---
6" TYPE '6' CURB/PUBLIC	SDG-150	---
RESIDENTIAL DRIVEWAY	SDG-159	---
SIDEWALK (PUBLIC/PRIVATE)	SDG-155	---
STORM DRAIN PIPE	PER PLAN (PVC)	---
STORM DRAIN INLET		○
RETAINING WALL		---
BACKFLOW PREVENTER	SDW-155	---
EXISTING SURVEY MONUMENT		●
BUILDING FOOTPRINT		---
EXISTING CONTOUR	130	---
PROPOSED CONTOUR	130	---
SIGHT VISIBILITY AREA		---
ROOF DRAIN (PER ARCHITECT'S PLAN)		+
DECK DRAIN (PER ARCHITECT'S PLAN)		+
SEWER LATERAL WITH SEWER CLEANOUT		---

NOTES:

- CONTRACTOR SHALL REFER TO SHEET C-2 FOR IMPROVEMENTS TO BE REMOVED OR TO REMAIN.
- CONTRACTOR TO REFER TO LANDSCAPE SHEETS FOR IRRIGATION AND PLANTING DETAILS.
- CONTRACTOR TO REFER TO THE PLUMBING SHEETS FOR THE BUILDING SEWER, AND WATER INCLUDING THE CONNECTIONS TO THE EXISTING FACILITIES.
- CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING FOUNDATION INFORMATION.
- ALL ONSITE WATER AND SEWER IMPROVEMENTS SHALL BE PRIVATE.
- NO TREES OR SHRUBS EXCEEDING 3' IN FEET MATURITY SHALL BE INSTALLED WITHIN 10' OF SEWER FACILITIES AND 5' OF ANY WATER FACILITIES.
- THE PROPOSED PROJECT IS ANTICIPATED TO RESULT IN AN INCREASE IN STORM RUNOFF. THERE ARE NO EXISTING UNDERGROUND STORM DRAIN FACILITIES IN THE AREA. THEREFORE, ALL RUNOFF IS DIRECTED INTO FROUDE STREET AND DEL MONTE AVENUE GENERALLY CONSISTENT WITH THE EXISTING CONDITION.
- SIGHT VISIBILITY TRIANGLES-NO OBSTRUCTIONS INCLUDING SOLID WALLS IN THE SIGHT VISIBILITY TRIANGLE AREAS SHALL EXCEED 3' IN HEIGHT.
- ROOF DRAINS DISCHARGE TO ADJACENT LANDSCAPE AREA. DRAINS DISCHARGE TO PROPOSED DRIVEWAY. THE RUNOFF FROM THE NORTHERLY ROOF AREA OF RESIDENCE 2 AND THE SOUTHERLY ROOF AREA OF RESIDENCE 1 DRAIN DOWN INTO THE ADJACENT PROPOSED LANDSCAPE AREAS.

KEY NOTES

- SURFACE IMPROVEMENT**
- EXISTING CURB AND GUTTER TO REMAIN, PROTECT IN PLACE
 - EXISTING CURB TO REMAIN, PROTECT IN PLACE
 - EXISTING CURB TO BE REMOVED AND RECONSTRUCTED
 - EXISTING CURB RAMP (WITH TRUNCATED DOME) TO REMAIN, PROTECT IN PLACE
 - EXISTING TREE, PALM TREE, MULTIPLE TRUNK TREE TO REMAIN, PROTECT IN PLACE
 - EXISTING CONCRETE SIDEWALK TO REMAIN, PROTECT IN PLACE
 - EXISTING CONCRETE SIDEWALK TO BE REMOVED AND RECONSTRUCTED
 - EXISTING CONCRETE DRIVEWAY TO BE REMOVED AND REPLACED WITH C&G AND SIDEWALK
 - EXISTING PAVERS TO REMAIN, PROTECT IN PLACE
 - EXISTING TREE, PALM TREE, MULTIPLE TRUNK TREE TO BE REMOVED
 - EXISTING POWER POLE (WOOD) WITH OVERHEAD STEEL ANCHOR TO REMAIN, PROTECT IN PLACE
 - EXISTING SHED TO BE REMOVED
 - EXISTING GATE (WOOD) TO BE REMOVED
 - EXISTING WALL (PAVERS) TO BE REMOVED
 - EXISTING WALKWAY (IMPERVIOUS PAVERS) TO BE REMOVED
 - EXISTING BUILDING STRUCTURE (SLAB, UTILITY FIXTURES, I.E.) TO BE REMOVED PER SEPARATE PERMIT - ASSUMED SLAB ON GRADE
 - EXISTING GATE (WOOD) TO REMAIN, PROTECT IN PLACE
 - EXISTING FENCE (WOOD) TO REMAIN, PROTECT IN PLACE
 - EXISTING STAIR TO BE REMOVED
 - EXISTING STREET NAME SIGN TO REMAIN
 - EXISTING CONCRETE STOOP TO BE REMOVED
 - EXISTING KEYSTONE WALL TO REMAIN, PROTECT IN PLACE
 - EXISTING DRIVEWAY TO REMAIN, PROTECT IN PLACE
 - EXISTING TREE TO BE RELOCATED - SEE LANDSCAPE DRAWINGS
 - EXISTING IMPERVIOUS PAVERS TO BE REMOVED - SEE LANDSCAPE DRAWINGS
 - PROPOSED PAVERS - SEE LANDSCAPE DRAWINGS EMRA REQUIRED
 - PROPOSED CONCRETE DRIVEWAY PER CITY OF SAN DIEGO DWG. NO. SDG-161
- WATER**
- EXISTING 12" AC WATER PER DWG NO 4006-W TO REMAIN, PROTECT IN PLACE
 - EXISTING 6" CI WATER PER DWG NO 12119-7-D TO REMAIN, PROTECT IN PLACE
 - EXISTING 12" PVC WATER PER DWG NO 36124-37-D TO REMAIN, PROTECT IN PLACE
 - EXISTING 8" PIPE WATER PER DWG NO 26538-10-D TO REMAIN, PROTECT IN PLACE
 - EXISTING WATER SERVICE PER DWG NO 26538-10-D W/ WATER METER TO REMAIN, PROTECT IN PLACE. BACKFLOW PREVENTER TO BE ADDED ON PRIVATE PROPERTY.
 - EXISTING WATER SERVICE PER DWG NO 26538-10-D WITHOUT WATER METER TO BE "KILLED" AT THE MAIN.
 - EXISTING WATER SERVICE PER DWG NO UNKNOWN WITH WATER METER TO REMAIN, PROTECT IN PLACE
 - EXISTING WATER AIR VACUUM PER DWG NO 36124-37-D TO REMAIN, PROTECT IN PLACE
 - EXISTING FIRE HYDRANT PER DWG NO 26538-10-D TO REMAIN, PROTECT IN PLACE
 - BACKFLOW PREVENTER (PVT)
- SEWER (CONT.)**
- PROPOSED WYE CONNECTION FOR SEWER LATERAL, (IE 131.79 AT MAIN), IE 132.09
 - EXISTING SEWER LATERAL PER DWG NO 29105-10 & 11-D TO BE CAPPED AT THE PROPERTY LINE. PRESERVE LATERAL TO NEIGHBORING PROPERTY.
 - PROPOSED 4" SEWER CLEANOUT, IE 133.00
 - PROPOSED 4" SEWER CLEANOUT, IE 132.72

EXISTING EASEMENTS

- AN EASEMENT GRANTED TO BERNARD C. COURTNEY AND MARY A. COURTNEY FOR SEWER AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JUNE 18, 1958 AS BOOK 7128, PAGE 30 OF OFFICIAL RECORDS, PER PM NO. 20344.
- AN EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR SEWER, WATER DRAINAGE AND PUBLIC UTILITIES AND THE RIGHT OF INGRESS AND EGRESS AND INCIDENTAL PURPOSES RECORDED APRIL 3, 1958 AS BOOK 7128, PAGE 427 OF OFFICIAL RECORDS, PER PM NO. 20344.
- EXIST. 4' WIDE EASEMENT FOR SEWER, WATER, AND DRAINAGE AND PUBLIC UTILITIES TO THE CITY OF SAN DIEGO, REC. APRIL 3, 1958 IN BK 7021, PG 427, O.R. TO BE VACATED

PUBLIC STREET IMPROVEMENTS

FROUDE STREET CURB & GUTTER AND SIDEWALK ADJACENT TO THE PROJECT FRONTAGE ONLY TO BE RECONSTRUCTED PER CURRENT CITY STANDARDS TO THE SATISFACTION OF THE CITY ENGINEER.

SITE DRAINAGE

- THE DRAINAGE FROM THE PORTION OF THE PROJECT ADJACENT TO FROUDE STREET (I.E. THE FRONT YARD PATIOS) DRAIN ON THE SURFACE AND INTO THE FROUDE STREET CURB AND GUTTER. THE RUNOFF IS CONVEYED TO DEL MONTE STREET CONSISTENT WITH THE EXISTING CONDITION.
- THE DRAINAGE FROM THE REMAINING PORTIONS OF THE PROJECT IS DIRECTED ON THE SURFACE TO THE PROPOSED DRIVEWAY LOCATED ON DEL MONTE AVENUE. THIS RUNOFF IS THEN CONVEYED INTO THE EXISTING DEL MONTE AVENUE CURB AND GUTTER.
- ALL OF THE SITE RUNOFF IS DIRECTED NORTHWEST IN EXISTING DEL MONTE AVENUE CONSISTENT WITH THE EXISTING CONDITION.

SEWER

- EXISTING SEWER MANHOLE PER DWG NO 29105-10, 11-D TO REMAIN, PROTECT IN PLACE
- EXISTING 6" PVC SEWER PER DWG NO 29105-10, 11-D TO REMAIN, PROTECT IN PLACE
- EXISTING SEWER LATERAL PER DWG NO 29105-10, 11-D TO REMAIN, PROTECT IN PLACE
- EXISTING SEWER LATERAL EXACT LOCATION (HORIZONTAL AND VERTICAL) IS NOT KNOWN
- PROPOSED 4" PVC SEWER LATERAL (L=31.32 AT 2%)
- PROPOSED 4" PVC SEWER LATERAL (L=31.40 AT 2%)
- PROPOSED WYE CONNECTION FOR SEWER LATERAL, (IE 132.07 AT MAIN), IE 132.37

EXISTING STREET LIGHTS

NO.	LOCATION	WATTAGE	LIGHT STANDARD	DISTANCE BETWEEN LIGHTS
1	DEL MONTE AVE AT FROUDE ST, SW	85	COBRA	AT DEL MONTE AVE, SWC
2	FROUDE ST AT NARRAGANSETT AVE, SW	165	COBRA	390'± TO STREET LIGHT NO. 1
3	DEL MONTE AVE E/O FROUDE ST AT CDS	85	COBRA	470'± TO STREET LIGHT NO. 1
4	DEL MONTE AVE AT EBERS ST, SW	85	COBRA	660'± TO STREET LIGHT NO. 1

NOTE: STREET LIGHT NO. 2-NO. 4 ARE LOCATED BEYOND THE LIMITS OF THE PROJECT SHOWN HEREON.

PROJECT TEAM:

CIVIL ENGINEERS: KETTLER LEWECK ENGINEERING
(619) 269-3444

ZONING DESIGNATION:

RM-1-1 (RESIDENTIAL - MULTIPLE UNIT)

PROJECT INDEX:

LAMBERT COORDINATES: 210-1693
NAD83 COORDINATES: 1850-6253

PREPARED BY:

Name: KETTLER LEWECK ENGINEERING
Address: 1620 5TH AVENUE, SUITE 675
SAN DIEGO, CA 92101

Phone no. (619) 269-3444
No. C48358
Exp. 6-30-2020

PROJECT ADDRESS:

1750 FROUDE STREET
SAN DIEGO, CA 92110

PROJECT NAME:

FROUDE RESIDENCES

SHEET TITLE:

TENTATIVE MAP - FINISH GRADING

CITY PROJECT NUMBER: 604010
I.O. NO. 24007896

EXISTING CONDITIONS:

OCCUPIED LOT
EXISTING SITE AREA = 0.206 AC
EXISTING LOTS = 4

PROPOSED USE:

OCCUPIED LOT
NEW SITE AREA = 0.206 AC
PROPOSED LOTS = 2

OWNER/DEVELOPER:

RICHARD HARMON/JEFF BECKER
GOOD-MEN CONSTRUCTION INC.
3940 HANCOCK STREET, SUITE 220
SAN DIEGO, CA 92110
TEL.: (619) 221-0873

Revision 1: CITY COMMENTS 07/11/18
Revision 2: CITY COMMENTS 09/11/18
Revision 3: CITY COMMENTS 02/21/19
Revision 4: DESIGN CHANGES 04/05/19
Revision 5:
Revision 6:
Revision 7:
Original Date: 03/21/18

Sheet 3 of 3
DEP #

UTILITY CROSSING DATA (PVT)

ID NO.	FINISH SURFACE	WATER (TP)	SEWER (E)	CLEARANCE (FT)
A	(137.47)	(134.47)*	132.57	0.6**
B	(137.57)	(134.57)*	132.29	0.9

NOTE:
* ASSUME 3' OF COVER, CONTRACTOR TO FIELD VERIFY THE UNKNOWN DEPTH FOR EXISTING UTILITIES.
** CONTRACTOR TO PROVIDE SAND CUSHION.

NOTE:
FENCE & TREE REMOVAL NOTES ARE ADDED FOR REFERENCE ONLY. SEE LANDSCAPE PLANS FOR ANY WORK ASSOCIATED WITH EXIST./PROP LANDSCAPING/IRRIGATION AND FENCING.

CAUTION!
EXISTING UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND MAY BE SCHEMATIC IN NATURE. THE PLANS MAY NOT REFLECT ALL EXISTING UTILITIES. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF WORK AND NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES.

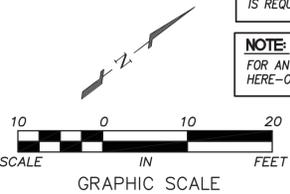
NOTE:
CONTRACTOR TO COORDINATE WITH UTILITY AGENCIES FOR ALL WORK ASSOCIATED WITH DRY UTILITIES.

"DIG ALERT NOTICE"
SECTION 42164217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 811 OR 1-800-227-2600, AT LEAST TWO WORKING DAYS BEFORE YOU DIG.

SURVEY MONUMENT NOTE:
EXISTING SURVEY MONUMENTS TO REMAIN. CONTRACTOR SHALL PROTECT IN PLACE EXISTING SURVEY MONUMENTS DURING CONSTRUCTION. IF EXISTING SURVEY MONUMENT ARE DESTROYED, CONTRACTOR SHALL REPLACE THE EXISTING SURVEY MONUMENT.

- EXISTING SURVEY MONUMENT**
- FOUND LEAD AND DISC STAMPED "SDCE" (TO REMAIN) - PROTECT IN PLACE
 - FOUND LEAD AND DISC STAMPED "LS 7927" (TO REMAIN) - PROTECT IN PLACE
 - FOUND 3/4" IRON PIPE WITH DISC STAMPED "LS 2201" (TO REMAIN) - PROTECT IN PLACE

PLAN VIEW
SCALE: 1"=10'



PROPOSED PRIVATE EASEMENT
A PRIVATE EASEMENT FOR SEWER OVER RESIDENCE 2 TO THE BENEFIT OF RESIDENT 1 IS REQUIRED.

NOTE:
FOR ANY ITEMS NOT SHOWN IN PLAN VIEW HERE-ON REFER TO SHEET C-2.

TREES AND HARDSCAPE NOTE:
FOR ALL TREES AND HARDSCAPE TO REMAIN, TO BE RELOCATED AND/OR TO BE REMOVED, SEE LANDSCAPE PLANS.



ENGINEER OF WORK

1620 5TH AVENUE, SUITE 675
SAN DIEGO, CA 92101
PHONE NO. (619) 269-3444

BY: *[Signature]* DATE: 4-5-19

KETTLER LEWECK
ENGINEERING
1620 5TH AVENUE, SUITE 675
SAN DIEGO, CA 92101
t: 619 269-3444 f: 619 269-3459
www.kettlerleweck.com

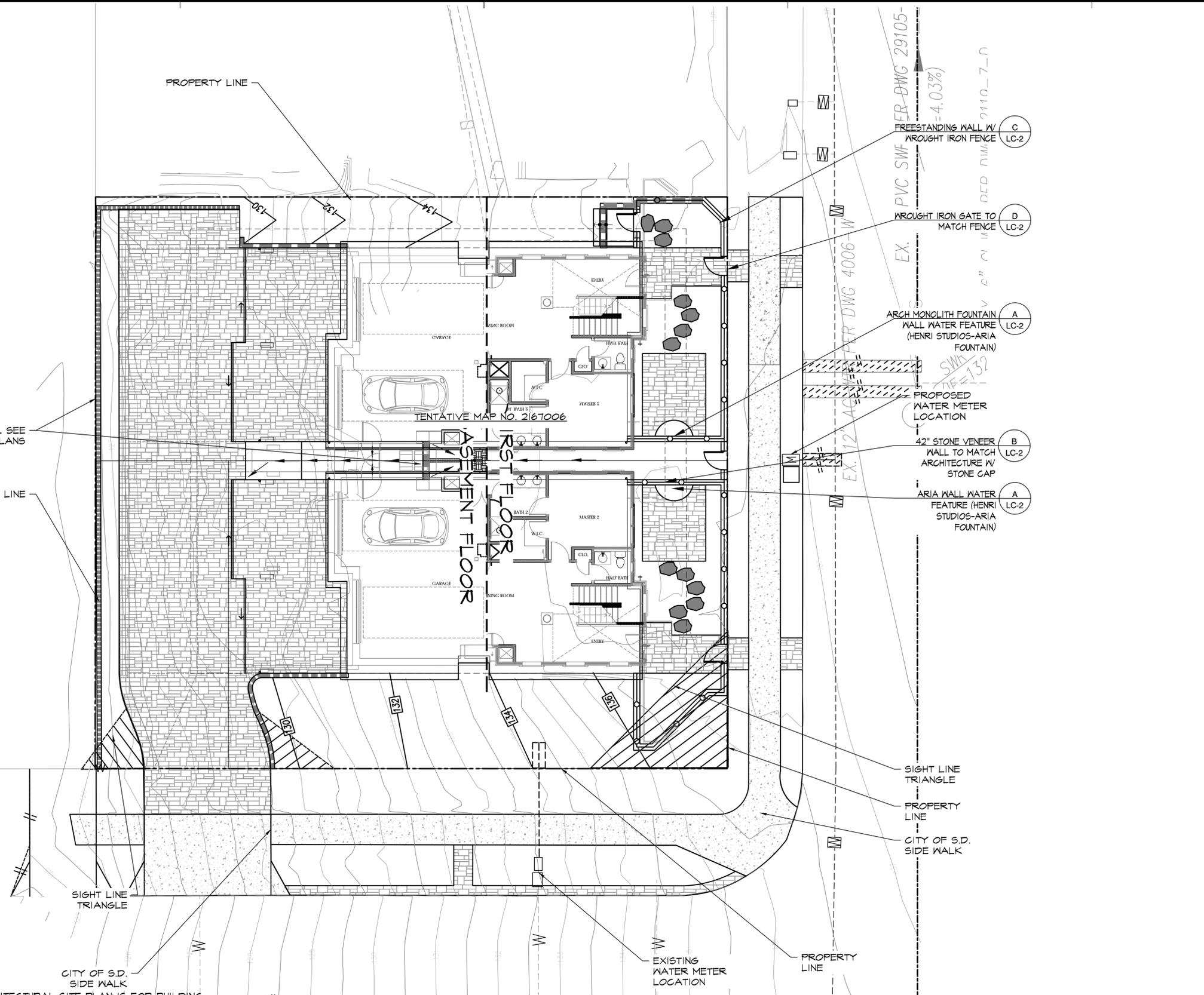
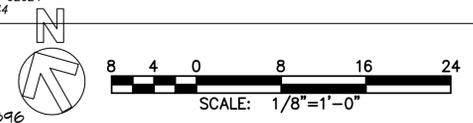
C-3

Digitally signed by Richard Harmon Date: 2019.11.20 12:02:2 -0800

PROJECT
 OWNER: MR. & MRS. HAMMOND
 LANDSCAPE ARCHITECT:
 JPBLA
 4403 MANCHESTER AVE, STE 201
 ENCINITAS, CA 92024
 760-479-0644
 ARCHITECT:
 SFEIR ARCHITECTS
 5151 SHOREHAM PLACE, SUITE 100
 SAN DIEGO, CA 92122
 619-299-3917
 APN:
 448-492-1200

DECLARATION OF RESPONSIBLE CHARGE

LANDSCAPE ARCHITECT OF WORK:
 I HEREBY DECLARE THAT I AM THE LANDSCAPE ARCHITECT OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.
 James P. Benedetti 11/15/17
 JAMES P. BENEDETTI, R.L.A. #3058 DATE
 MY REGISTRATION EXPIRES 09/30/18
 4403 MANCHESTER AVE, SUITE 201
 ENCINITAS, CA 92024
 760-479-0644
 I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN CALIFORNIA CODE OF REGULATIONS TITLE 23, DIVISION 2, CHAPTER 2.7, SECTIONS 490 ET. SEQ. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.
 James P. Benedetti 11/15/17
 JAMES P. BENEDETTI, R.L.A. #3058 DATE
 MY REGISTRATION EXPIRES 09/30/18
 4403 MANCHESTER AVE, SUITE 201
 ENCINITAS, CA 92024
 760-479-0644



- NOTES:**
- REFER TO ARCHITECTURAL SITE PLAN IS FOR BUILDING IDENTIFICATION AND INFORMATION ONLY.
 - CIVIL ENGINEER TO PROVIDE ALL SETBACKS, PROPERTY BOUNDARY, AND GRADING INFORMATION.
 - IN THE EVENT OF A CONFLICT BETWEEN LANDSCAPE PLANS AND ARCHITECTURAL PLANS, LANDSCAPE PLANS SHALL TAKE PRECEDENCE FOR SITE DRAINAGE.
 - ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 - STORM WATER TABULATIONS: EXISTING AND PROPOSED IMPERVIOUS AREA (S.F.); TOTAL AREA OF LOT DISTURBANCE (DEFINED AS AREA WHERE VEGETATION, TOPSOIL, OR OVERBURDEN HAS BEEN REMOVED, OR WHERE TOPSOIL, SPOIL, AND PROCESSED WASTE HAS BEEN PLACED, INCLUDING LANDSCAPING)

LANDSCAPE CALCULATIONS

A. TOTAL PROJECT SITE AREA:	8970 S.F.
B. TOTAL LANDSCAPED AREA:	4763 S.F.
C. NET LANDSCAPED AREA PERCENTAGE (B ÷ A):	53%
D. TOTAL AREA OF TURF:	0 S.F.
E. TURF AREA AS PERCENTAGE OF TOTAL LANDSCAPED AREA (D ÷ B):	0%

SHEET INDEX:

CONSTRUCTION PLAN	LC-1
CONSTRUCTION DETAILS	LC-2
IRRIGATION HYDROZONE MAP	LC-3
IRRIGATION WATER CALCULATIONS	LC-4
PLANTING PLAN & NOTES	LC-5
EXISTING TREE PLAN	LC-6
PLANT CALCULATIONS	LC-7

FROUDE RESIDENCES
 PROJECT ADDRESS:
 1750 Froude Street
 Ocean Beach, CA 92107

JPBLA
JAMES P. BENEDETTI
 LANDSCAPE ARCHITECT
 4403 MANCHESTER AVE., SUITE 201
 ENCINITAS, CA 92024
 760/479-0644 FAX 760/479-0645

OWNER: RICHARD HARMON, JEFF BECKER
 GOOD-MEN CONSTRUCTION INC.
 3940 HANCOCK STREET, SUITE 220
 SAN DIEGO, CALIFORNIA 92110

ARCHITECT: SFEIR ARCHITECTS
 5151 SHOREHAM PLACE, SUITE 100
 SAN DIEGO, CALIFORNIA 92122
 TEL(619)299-3917 FAX(619)299-5084

STRUCTURAL: SSE
 2091 LAS PALMAS DRIVE, SUITE D
 CARLSBAD, CALIFORNIA 92011

ME&P: SALEHEI ENGINEERING
 8360 CLAIREMONT MESA BLVD,
 SUITE 111
 SAN DIEGO, CALIFORNIA 92111

CIVIL: KETTLER LEWICK
 303 A STREET, SUITE 302
 SAN DIEGO, CALIFORNIA 92101

LANDSCAPE: JPBLA
 4403 MANCHESTER, 201
 ENCINITAS, CALIFORNIA 92124

GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS
 5931 SEA LION PLACE, SUITE 109
 CARLSBAD, CALIFORNIA 92010

INTERIOR: ISLEY DESIGN
 1982 PALSERO AVENUE
 ESCONDIDO, CALIFORNIA 92029

APPROVAL STAMP:

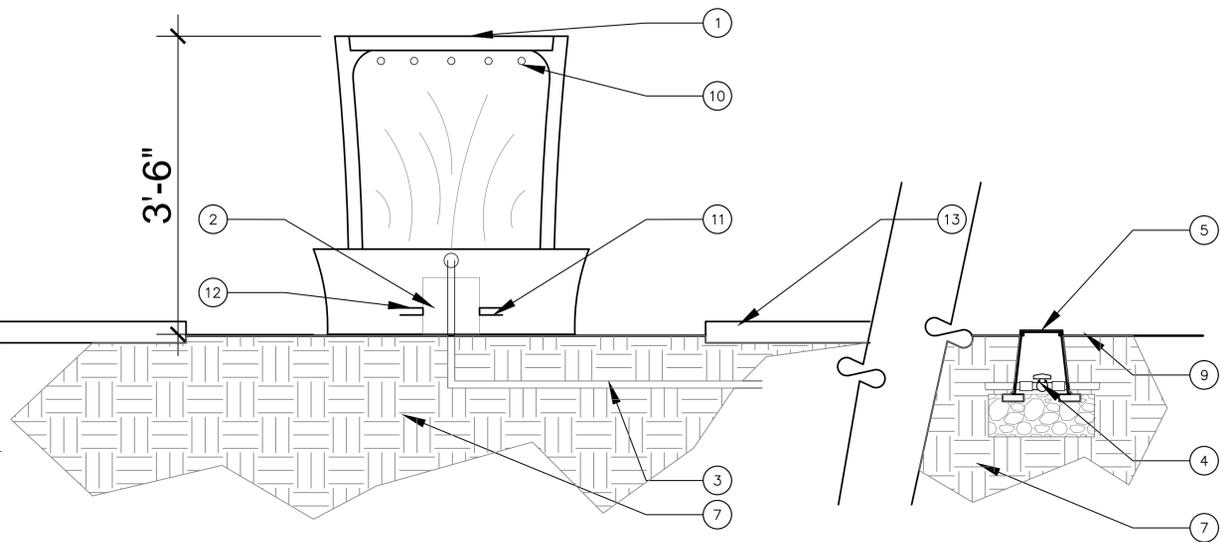
SHEET INDEX:

CONSTRUCTION PLAN

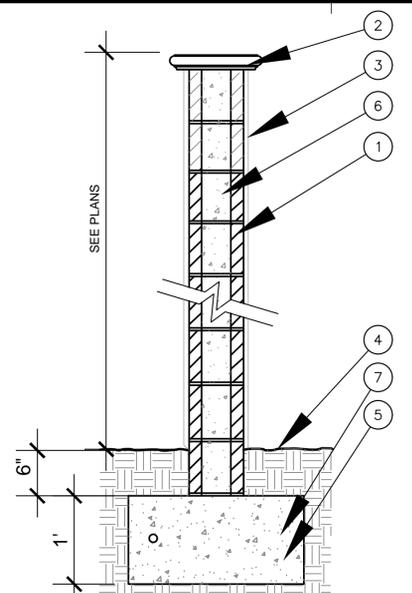
PROJECT # 01737.00
 DRAWN BY: JPB
 CHECKED BY: JPB
 SCALE: As indicated
 DRAWING PREPARATION DATE: 4/2/18

LC-1

SHEET OF 7



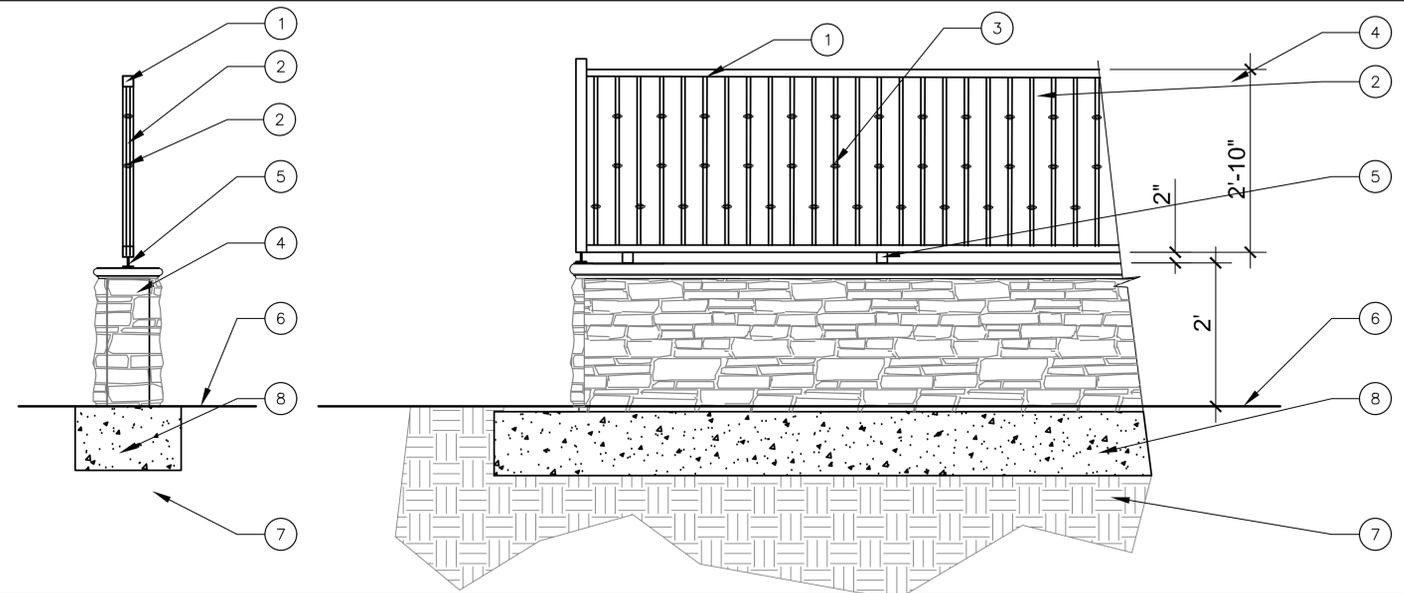
- DETAIL LEGEND**
- ① ARIA WALL FOUNTAIN, APPROXIMATELY 550LBS AND 42" X 34" X 32.5" (HENRI STUDIO) RELIC NEBBIA FINISH
 - ② PUMP CHAMBER W/ PUMP INSIDE (PUMP IS INCLUDED WITH FOUNTAIN)
 - ③ WATER SUPPLY LINE
 - ④ BALL VALVE LOCATION FROM IRRIGATION MAINLINE (SEE IRRIGATION DETAILS)
 - ⑤ VALVE BOX (SEE IRRIGATION DETAILS)
 - ⑥ PUMP TO BE DIRECT WIRED TO AN OUTLET WITH TIMER AND MANUAL SWITCH (NEEDS TO RUN FOR MIN 2HRS PER DAY)
 - ⑦ COMPACTED SUB-GRADE
 - ⑧ ELECTRICAL CONDUIT
 - ⑨ FINISH GRADE
 - ⑩ WATER SPOUTS
 - ⑪ SUCTION LINE TO PUMP
 - ⑫ RETURN LINE FROM PUMP TO BASIN
 - ⑬ PATIO PAVERS (SEE PAVERS DETAIL)



- DETAIL LEGEND**
- ① 8X8X16 CMU BLOCK - GROUT ALL CELLS SOLID
 - ② PRECAST CONCRETE CAP (STEPSTONE INC - SONORA FLAT WALL CAP, TUSCAN AMBER)
 - ③ STONE FINISH PER PLAN
 - ④ FINISH GRADE
 - ⑤ CONCRETE FOOTING CONTINUOUS. FOOTING ON SLOPE SHALL HAVE 7' TO DAYLIGHT.
 - ⑥ #4 VERTICAL REBAR @24" O.C. GROUT ALL CELLS SOLID - ALTERNATE BENDS
 - ⑦ (2) #4 HORIZONTAL BARS - CONT.

A WALL FOUNTAIN

B FREESTANDING WALL



DETAIL LEGEND

- ① 2X2 TOP AND BOTTOM RAILS
- ② 5/8" SQ. PICKETS 4" O.C.
- ③ DECORATIVE KNUCKLES TO MATCH THOSE PROPOSED WITH ARCHITECTURE
- ④ STONE WALL (SEE FREESTANDING WALL DETAIL)
- ⑤ BRACKET TO SUPPORT WROUGHT IRON FENCE 2" ABOVE WALL
- ⑥ FINISHED GRADE
- ⑦ COMPACTED SUB-GRADE PER SOIL'S REPORT
- ⑧ CONC. FOOTING SOFT SURFACE AREA
- ⑨ -

NOTES:

- ALL SURFACE WELDS SHOULD BE GROUND SMOOTH
- TREAT ALL EXPOSED SURFACES WITH 2 COATS OF MOISTURE PROOF PRIMER AND 2 COATS OF FINISH COLOR
- FINISH COLOR TO BE BLACK POWDER COAT

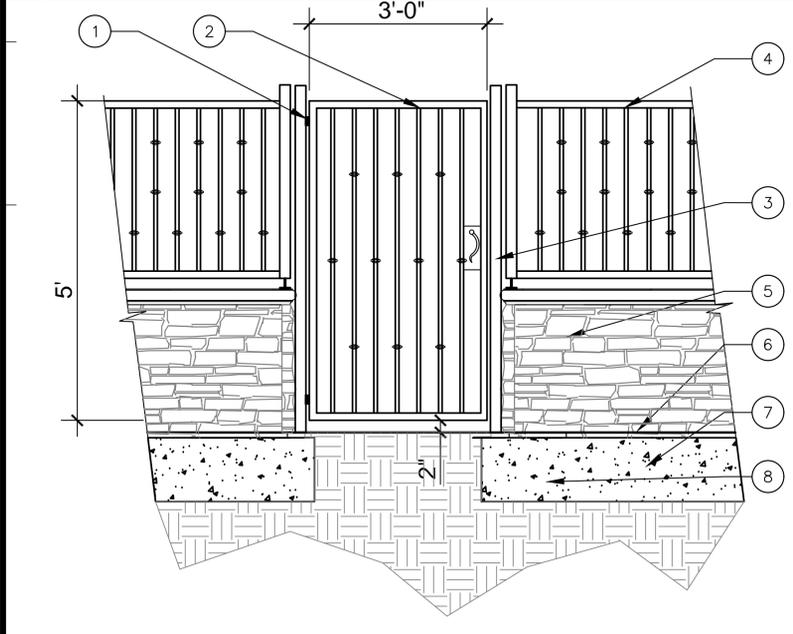
C FREESTANDING WALL W/ WROUGHT IRON FENCE

DETAIL LEGEND

- ① HEAVY DUTY SELF CLOSING HINGES
- ② TUB. STEEL GATE W/2" SQ. FRAME & 5/8" SQ. PICKETS, W/ HEAVY DUTY HINGES & LOCKING LATCH 2X2 TUB.
- ③ WROUGHT IRON POST ANCHORED TO WALL AND FENCE POST
- ④ 2X2 TOP AND BOTTOM RAILS
- ⑤ 5/8" SQ. PICKETS 4" O.C.
- ⑥ FINISHED GRADE
- ⑦ COMPACTED SUB-GRADE PER SOIL'S REPORT
- ⑧ CONC. FOOTING SOFT SURFACE AREA

NOTES:

- ALL SURFACE WELDS SHOULD BE GROUND SMOOTH
- TREAT ALL EXPOSED SURFACES WITH 2 COATS OF MOISTURE PROOF PRIMER AND 2 COATS OF FINISH COLOR
- FINISH COLOR TO BE BLACK POWDER COAT



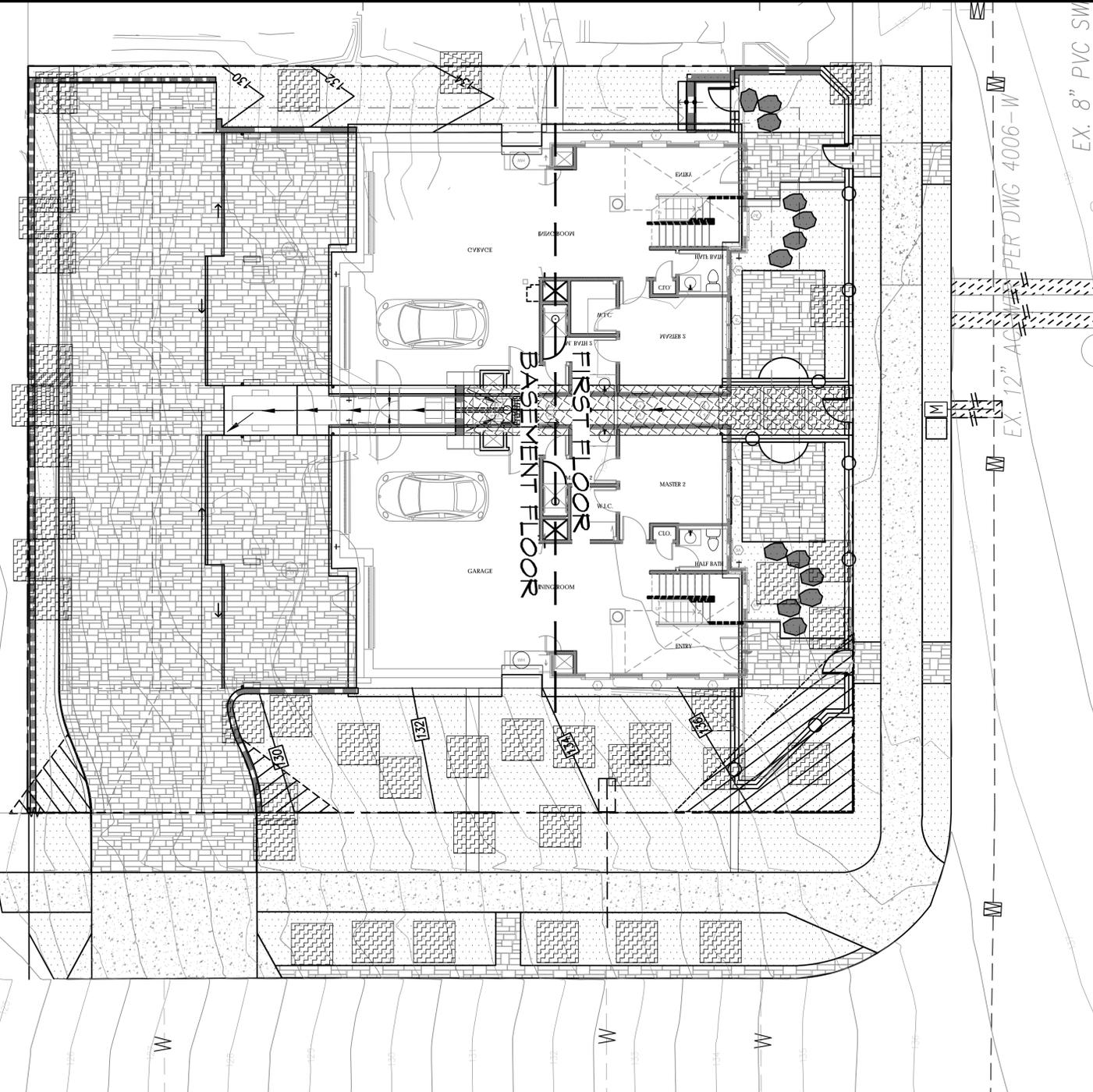
D WROUGHT IRON GATE

E -

<p>PROJECT TITLE: FROUDE RESIDENCES</p> <p>PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107</p>		<table border="1"> <tr><td>△ CITY COMMENTS</td><td>07/11/18</td></tr> <tr><td>△ CITY COMMENTS</td><td>09/11/18</td></tr> <tr><td>△ DESIGN CHANGES</td><td>09/11/18</td></tr> <tr><td>△ DESIGN CHANGES</td><td>02/21/19</td></tr> </table>	△ CITY COMMENTS	07/11/18	△ CITY COMMENTS	09/11/18	△ DESIGN CHANGES	09/11/18	△ DESIGN CHANGES	02/21/19
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<p>ARCHITECT: JPBLA JAMES P. BENEDETTI LANDSCAPE ARCHITECT 4403 MANCHESTER AVE., SUITE 201 ENCINITAS, CA 92024 760/479-0644 FAX 760/479-0645</p>										
<p>OWNER: RICHARD HARMON/ JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110</p>	<p>ARCHITECT: SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL:(619)299-3917 FAX:(619)299-5084</p>	<p>APPROVAL STAMP:</p>								
<p>STRUCTURAL: SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011</p>	<p>ME&P: SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111</p>	<p>SHEET TITLE: CONSTRUCTION DETAILS</p>								
<p>CIVIL: KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101</p>	<p>LANDSCAPE: JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124</p>	<p>PROJECT # 01737.00</p> <p>SHEET NUMBER: LC-2</p>								
<p>GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS 5931 SEA LION PLACE, SUITE 109 CARLSBAD, CALIFORNIA 92010</p>	<p>INTERIOR: ISLEY DESIGN 1982 PALSERO AVENUE ESCONDIDO, CALIFORNIA 92029</p>	<p>SCALE: As indicated</p> <p>DRAWING PREPARATION DATE: 4/2/18</p> <p>SHEET 2 OF 7</p>								

All ideas, designs, and arrangements indicated on these drawings are the property of JPBLA, INC and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent of the architect. There shall be no changes or deviations from these drawings or the accompanying specifications without the written consent of the landscape architect.

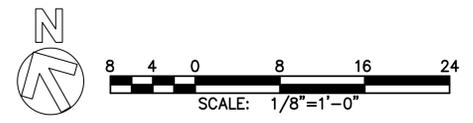
All rights reserved. No part of this work may be reproduced or copied in any form or by any means, graphic, electronic, or mechanical, including photocopying, recording, taping, or information and retrieval systems without written permission of the ARCHITECT.



HYDROZONE LEGEND

- 1 HYDROZONE ONE: DRIP (LOW WATER USE)
(3,343 SF, 70% OF TOTAL LANDSCAPE AREA)
- 2 HYDROZONE TWO: DRIP (MEDIUM WATER-USE)
(320 SF, 7% OF TOTAL LANDSCAPE AREA)
- 3 HYDROZONE EIGHT: BUBBLERS (MEDIUM WATER-USE)
(1,100 SF, 23% OF TOTAL LANDSCAPE AREA)

TOTAL AREA 4,763 SF



HYDROZONE PLAN

<p>PROJECT TITLE: FROUDE RESIDENCES</p> <p>PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92024</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">CITY COMMENTS</td> <td style="font-size: 8px;">07/11/18</td> </tr> <tr> <td style="font-size: 8px;">DESIGN CHANGES</td> <td style="font-size: 8px;">09/11/18</td> </tr> <tr> <td style="font-size: 8px;">DESIGN CHANGES</td> <td style="font-size: 8px;">09/11/18</td> </tr> <tr> <td style="font-size: 8px;">DESIGN CHANGES</td> <td style="font-size: 8px;">02/21/19</td> </tr> <tr> <td style="font-size: 8px;">REV:</td> <td style="font-size: 8px;">DESCRIPTION:</td> </tr> <tr> <td style="font-size: 8px;"> </td> <td style="font-size: 8px;">DATE:</td> </tr> </table>	CITY COMMENTS	07/11/18	DESIGN CHANGES	09/11/18	DESIGN CHANGES	09/11/18	DESIGN CHANGES	02/21/19	REV:	DESCRIPTION:		DATE:
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All ideas, designs, and arrangements indicated on these drawings are the property of JPBLA, INC and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent of the architect. There shall be no changes or deviations from these drawings or the accompanying specifications without the written consent of the landscape architect.

All rights reserved. No part of this work may be reproduced or copied in any form or by any means, graphic, electronic, or mechanical, including photocopying, recording, taping, or information and retrieval systems without written permission of the ARCHITECT.

LANDSCAPE WATER REQUIREMENTS WORKSHEET

This project worksheet is to be submitted to the City when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).

Project Name: FROUDE RESIDENCES Project #: JPBLA # 2017-40
 Project Address: 1750 FROUDE ST, OCEANBEACH SAN DIEGO 92107
 Individual/Business Completing the Worksheet: JPBLA INC.
 Phone Number: 760-479-0644

I. DEFINITIONS:

ET Adjustment Factor: A factor that when applied to reference evapotranspiration adjusts for plant water requirements and irrigation efficiencies, two major influences on the amount of water that is required for a healthy landscape.

Evapotranspiration: The quantity of water evaporated from adjacent soil surfaces and transpired by plants during a specific time period. Evapotranspiration data may be found at www.cimis.water.ca.gov. You may obtain a free pass word from the Department of Water Resources. The site also holds an abundance of informational links and complete instructions.

Hydrozone: A section or zone of the landscaped area having plants with similar water needs that are served by a valve or set of valves with the same schedule. A hydrozone may be irrigated or non-irrigated.

Landscape Area: The entire premises less the area of building footprints, non-irrigated portions of parking lots, driveways, hardscapes (as defined in §113.0103 of the Land development Code), and areas designated for habitat preservation or brush management Zone 2.

Plant Factor: A factor that when multiplied by reference evapotranspiration, estimates the amount of water used by plants. Plant water use calculations are based on the list in WUCOLS III (www.owue.water.ca.gov/docs/wucols00.pdf). The average plant factor are as follows:

- Low water using plants is less than 0.2;
- Medium water using plants is 0.5; and
- High water using plants is 0.8.

Factors for non plant material are as follows:

- Water Features. The surface area of man made water features (pools, ponds, spas and similar features) are calculated using the co-efficient for high water using plants.
- Artificial Turf. The surface area of artificial turf is calculated using the co-efficient for low water using plants with a distribution uniformity (DU) of 1.0.

Special Landscape Area: Areas used for active and passive recreation areas, areas solely dedicated to the production of fruits and vegetables, and areas irrigated with reclaimed water.

2. DETERMINE THE WATER BUDGET

Water Budget Calculation

The water budget is to be calculated using the following formula.

$$\text{Water Budget} = (\text{ETo})(0.62) [(0.7)(\text{LA}) + (0.3)(\text{SLA})]$$

Where:
 ETo = Evapotranspiration (inches per year)(see Table 6 or ETo Map)
 0.62 = Conversion factor (to gallons)
 0.7 = Evapotranspiration Adjustment Factor
 LA = Landscape Area (square feet)
 0.3 = Additional Evapotranspiration Adjustment Factor for Special Landscape Areas
 SLA = Special Landscape Area (square feet)

In the calculation below provide the values for the water budget calculation used for the proposed project. The ETo for the calculation may be based on the precise location of the project using the ETo Map or based on the ETo for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

$$\left(\frac{41}{\text{ETo}}\right)(0.62) [(0.7)\left(\frac{4,763}{\text{LA}}\right) + (0.3)\left(\frac{0}{\text{SLA}}\right)] = 84,753 \text{ Gal./Yr.}$$

Irrigation Method and Efficiency					
Bubblers	0.85	Fixed Spray	0.55	Rotator Spray	0.70
Drip	0.90	Micro Sprays	0.70	Rotors	0.70
Drip Irrigation	0.80	MP Rotators	0.75	Spray Heads	0.60

Plant Water Use	Plant Factor	Also includes
Low	<0.1-0.2	Artificial Turf
Moderate	0.3-0.7	
High	0.8 and greater	Water features
Special Landscape Area	1.0	

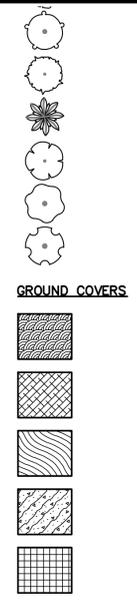
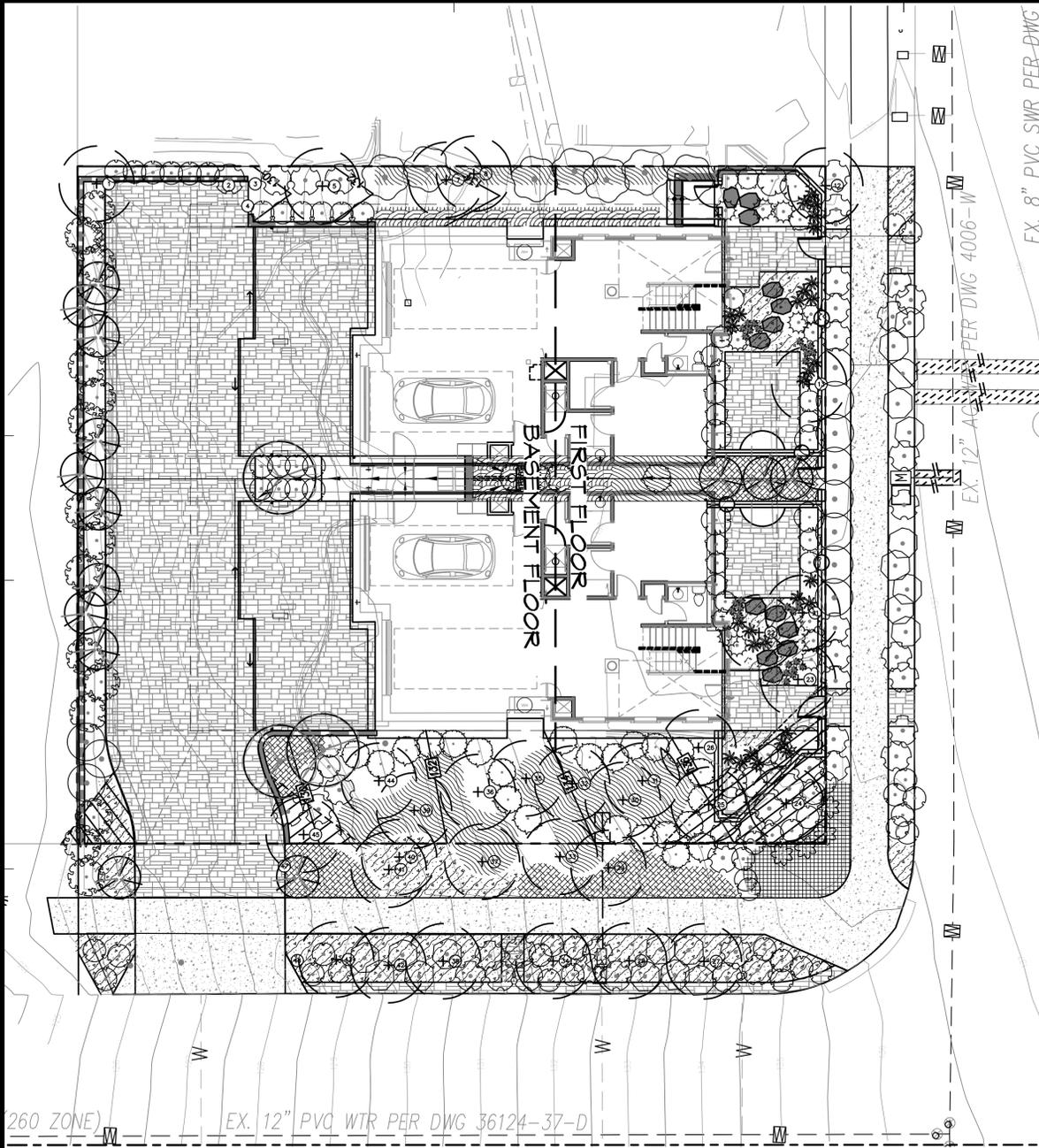
Use the following table to tack information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
1			0.2	3,343	DRIP	0.90	70%
2			0.7	320	DRIP	0.90	7%
3			0.7	1,100	BUBBLERS	0.85	23%
Total							100%

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. The total ETWU cannot exceed the total Water Budget.

Controller No.	[(ETo)(0.62)] [(PF x HA ÷ IE) + SLA]	Result in Gallons per Year
1	[(41)(0.62)] [0.2 X 3,343/0.9]+0	18,885
2	[(41)(0.62)] [0.7 X 320/0.90]+0	6,326
3	[(41)(0.62)] [0.7 X 1,100/0.90]+0	21,748
Total ETWU gallons per year		46,870

PROJECT TITLE: FROUDE RESIDENCES		CITY COMMENTS _____ 07/11/18 CITY COMMENTS _____ 09/11/18 DESIGN CHANGES _____ 09/11/18 DESIGN CHANGES _____ 02/21/19
PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107		REV: _____ DESCRIPTION: _____ DATE: _____
ARCHITECT:  JAMES P. BENEDETTI LANDSCAPE ARCHITECT 4403 MANCHESTER AVE., SUITE 201 ENCINITAS, CA 92024 760/479-0644 FAX 760/479-0645		
OWNER: RICHARD HARMON, JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110	APPROVAL STAMP: _____	
ARCHITECT: SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL:(619)299-3917 FAX:(619)299-5084	STRUCTURAL: SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011	
ME&P: SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111	CIVIL: KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101	
LANDSCAPE: JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124	GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS 5931 SEA LION PLACE, SUITE 109 CARLSBAD, CALIFORNIA 92010	
INTERIOR: ISLEY DESIGN 1982 PALSERO AVENUE ESCONDIDO, CALIFORNIA 92029	SHEET TITLE: IRRIGATION CALCULATIONS	
PROJECT #: 01737.00	SHEET NUMBER: LC-4	DRAWN BY: JPB CHECKED BY: JPB SCALE: As indicated DRAWING PREPARATION DATE: 4/2/18



GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING	QTY
	LIRIOPE GIGANTEA	GIANT LIRIOPE	5 GAL	M		21
	MAHONIA X SOFT CARESS	SOFT CARESS MAHONIA	1 GAL	L		27
	OPHIPOGON JAPONICUS	MONDO GRASS	1 GAL	M		27
	PHILODENDRON X 'XANADU'	PHILODENDRON	5 GAL	M		10
	RHAPIS EXCELSA	LADY PALM	15 GAL	M		7
	STRELITZIA JUNCEA	NARROW-LEAFED BIRD OF PARADISE	5 GAL	L		44
	ASPIDISTRA ELATOR	CAST IRON PLANT	1 GAL	M	24" o.c.	207 SF
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	L	12" o.c.	294 SF
	CLIVIA MINIATA	BUSH LILLY	5 GAL	L	18" o.c.	584 SF
	DYMONDIA MARGARETAE	DYMONDIA	FLAT	L	6" o.c.	759 SF
	SENECIO MANDRALISCAE 'BLUE CHALK STICKS'	SENECIO	FLAT	L	8" o.c.	102 SF

CITY OF SAN DIEGO TREE PROTECTION NOTES:

- PRIOR TO ANY DISTURBANCE TO THE SITE, THE OWNER/PERMITTEE SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO MITIGATION MONITORING COORDINATION SECTION (MMC), THE RESIDENT ENGINEER (RE) AND/OR BUILDING INSPECTOR, CERTIFIED CONSULTING ARBORIST, CONSTRUCTION MANAGER, AND LANDSCAPE PROFESSIONAL.
- THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR PREVENTING DAMAGE TO TREES.
 - CONSTRUCTION AND MAINTENANCE STAFF SHALL AVOID UNNECESSARY ACTIVITIES WITHIN THE DRIPLINE OF TREES.
 - FINES SHALL BE ASSESSED TO THOSE INDIVIDUALS FOUND TO BE RESPONSIBLE FOR THE ILLEGAL REMOVAL OR DAMAGE OF PROTECTED TREES.
- ANY DAMAGE OR INJURY TO TREES SHALL BE REPORTED WITHIN 24 HOURS TO MMC BY THE CERTIFIED CONSULTING ARBORIST.
- THE CERTIFIED CONSULTING ARBORIST SHALL BE RESPONSIBLE FOR ESTABLISHING, IMPLEMENTING, AND MAINTAINING THE TREE PROTECTION ZONE AS SHOWN ON THESE PLANS DURING THE ENTIRE CONSTRUCTION PERIOD.
 - STAKE THE COMPLETE DRIP LINE.
 - ROOTS SHALL BE CLEANLY CUT BACK APPROX. 6" FROM THE LIMIT OF DISTURBANCE, UNLESS OTHERWISE DIRECTED BY THE CERTIFIED CONSULTING ARBORIST.
 - INSTALL A TEMPORARY 6-FT HIGH CHAIN LINK FENCE AROUND THE IDENTIFIED DRIPLINE, UNLESS OTHERWISE DIRECTED BY THE CERTIFIED CONSULTING ARBORIST.
 - ATTACH AND ORANGE OR YELLOW PROTECTIVE FENCE (MIN. 3' HIGH) TO THE CHAIN LINK FENCE.
 - WHEN AREAS UNDER THE TREE CANOPY CANNOT BE FENCED, ANOTHER METHOD SHALL BE REQUIRED, AS RECOMMENDED BY THE CERTIFIED CONSULTING ARBORIST AND APPROVED BY MMC.
 - POST "KEEP OUT" SIGNS IN BOTH SPANISH AND ENGLISH TO THE CHAIN LINK FENCE.
 - PLACE STORY POLES WHERE PROPOSED BUILDING(S) AND TREE BRANCHES INTERFACE.
 - SUBMIT TO MMC A TREE MAINTENANCE SCHEDULE PREPARED BY THE CERTIFIED CONSULTING ARBORIST.
 - IF A TREE IS ADJACENT TO OR IN THE IMMEDIATE PROXIMITY TO A GRADE SLOPE OF 8% (23 DEGREES) OR MORE, PROVIDE ADEQUATE EROSION CONTROL.
- THE CERTIFIED CONSULTING ARBORIST SHALL VERIFY IN WRITING TO THE OWNER/PERMITTEE THAT THE TREE PROTECTION ZONE HAS BEEN ESTABLISHED. THE OWNER/PERMITTEE SHALL SUBMIT THE CERTIFIED CONSULTING ARBORIST'S VERIFICATION LETTER TO MMC BEFORE SCHEDULING A SITE INSPECTION WITH MMC, AND RE AND/OR BUILDING INSPECTOR, CERTIFIED CONSULTING ARBORIST, AND LANDSCAPE PROFESSIONAL.
- RESTRICTIONS WITHIN THE TREE PROTECTION ZONE TO BE MONITORED BY THE CERTIFIED CONSULTING ARBORIST AS FOLLOWS:
 - TREE PRUNING OR ROOT PRUNING WILL ONLY OCCUR UNDER THE GUIDANCE OF THE CERTIFIED CONSULTING ARBORIST WITH WRITTEN APPROVAL FROM MMC.
 - PRUNING FOR VERTICAL CLEARANCE OF BUILDINGS, TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL BE PERFORMED BY THE CERTIFIED CONSULTING ARBORIST ONLY.
 - CONSTRUCTION EQUIPMENT AND MATERIALS SUCH AS STOCKPILING OF SOIL, VEHICLE USE, FOOT TRAFFIC, UTILITY CONTAINERS, AND STORAGE OF ANY KIND, ARE PROHIBITED.
 - THE EXISTING GRADE SHALL NOT BE DISTURBED UNLESS OTHERWISE APPROVED BY MMC, AND RE, AND/OR BUILDING INSPECTOR.
 - ROOT SYSTEMS SHALL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE VARIATIONS IN SOIL MOISTURE BY CONSTRUCTION ACTIVITY.
- ANY MODIFICATION AND/OR ADDITIONS TO THE APPROVED TREE PROTECTION ZONE SHALL BE SUBMITTED BY THE CERTIFIED CONSULTING ARBORIST WITH ADEQUATE INFORMATION TO MMC FOR APPROVAL.
- THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR A MINIMUM 3 YEAR MONITORING AND MAINTENANCE PERIOD, DESIGNED BY THE CERTIFIED CONSULTING ARBORIST SHALL PROVIDE ANNUAL REPORTS TO AND REQUEST INSPECTION FROM MMC DURING THE MONITORING AND MAINTENANCE PERIOD.
- THE CERTIFIED CONSULTING ARBORIST SHALL PROVIDE ANNUAL REPORTS TO AND REQUEST INSPECTIONS FROM MMC DURING THE MONITORING AND MAINTENANCE PERIOD.
- A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIPLINE.
- STOCKPILING, TOPSOIL DISTURBANCE, CONSTRUCTION MATERIAL STORAGE, VEHICLE USE, FOOT TRAFFIC, AND STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIPLINE.
- ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING AND DRYING DURING DEWATERING.
- THE EXISTING GRADE WILL BE MAINTAINED WITHIN THE DRIPLINE OF EXISTING TREES. (NEW ISSUE)
- ROOTS OF EXISTING TREES WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION AND ALL CUTS WILL BE SEALED WITH WOOD PAINT AS MANUFACTURED BY FLINTKOTE OR APPROVED EQUAL.
- A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING OF ANY ROOTS 6-IN OR GREATER IN DIAMETER.
- MAINTAIN AND DOCUMENT A TREE WATERING SCHEDULE DURING CONSTRUCTION.
- ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

MAINTENANCE RESPONSIBILITY NOTE:

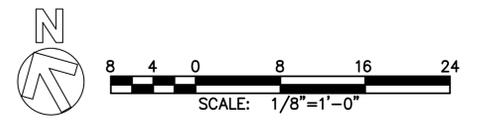
THE PROPERTY OWNERS ARE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL LANDSCAPED AREAS ON SITE AND WITHIN THE ADJACENT RIGHTS-OF-WAY. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. PLANTINGS SHALL BE MAINTAINED IN A HEALTHY, VIGOROUSLY GROWING CONDITION CONSISTENT WITH THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS. THEY SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOWING AND TRIMMING. IRRIGATION SYSTEMS SHALL BE REGULARLY INSPECTED AND KEPT IN FULLY OPERATIONAL CONDITION ACCORDING TO MANUFACTURERS' DESIGN STANDARDS AT ALL TIMES.

MINIMUM TREE SEPARATION DISTANCE:

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVENWAY (ENTRIES) (5 FEET ON RESIDENTIAL STREETS RATED AT 25 MPH OR LOWER)	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF 2 STREETS)	25 FEET
SEWER LINES	10 FEET

GENERAL NOTES:

- SEE GRADING AND DRAINAGE PLAN FOR CONTOURS AND SLOPES.



260 ZONE) EX. 12" PVC WTR PER DWG 36124-37-D

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY
(+)	EXISTING TREE TO REMAIN	PROTECT IN PLACE	EXISTING		31
(-)	EXISTING TREE TO BE REMOVED	GRIND STUMP	EXISTING		46
(*)	EXISTING TREE TO BE REMOVED	TRANSPLANTED	TRANSPLANTED		3
(x)	EXISTING TREE TO BE TRANSPLANTED	TRANSPLANT LOCATION	TRANSPLANT LOCATION		3
(/)	TRACHYCARPUS FORTUNEI	WINDMILL PALM	24" BOX	M	14
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY
(*)	AGAPANTHUS AFRICANUS 'QUEEN ANNE BLUE'	QUEEN ANNE LILY OF THE NILE	1 GAL	M	29
(*)	AGAVE X 'BLUE GLOW'	BLUE GLOW AGAVE	15 GAL	L	4
(*)	ANIGOZANTHOS X 'BIG RED'	BIG RED KANGAROO PAW	5 GAL	M	12
(*)	BULBINE FRUTESCENS 'HALLMARK'	STALKED BULBINE	5 GAL	L	53
(*)	CALLISTEMON CITRINUS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL	L	11
(*)	DIETES VEGETA	AFRICAN IRIS	1 GAL	L	23
(*)	DODONAEA VISCOSA 'GREEN'	GREEN HOPSEED BUSH	15 GAL STAKE	L	15

PROJECT TITLE:
FROUDE RESIDENCES

PROJECT ADDRESS:
1750 Froude Street
Ocean Beach, CA 92107

ARCHITECT:
JPBLA
JAMES P. BENEDETTI
LANDSCAPE ARCHITECT
4403 MANCHESTER AVE., SUITE 201
ENCINITAS, CA 92024
760/479-0644 FAX 760/479-0645

OWNER: RICHARD HARMON, JEFF BECKER
GOOD-MEN CONSTRUCTION INC.
3940 HANCOCK STREET, SUITE 220
SAN DIEGO, CALIFORNIA 92110

ARCHITECT: SFEIR ARCHITECTS
5151 SHOREHAM PLACE, SUITE 100
SAN DIEGO, CALIFORNIA 92122
TEL:(619)299-3917 FAX:(619)299-5084

STRUCTURAL: SSE
2091 LAS PALMAS DRIVE, SUITE D
CARLSBAD, CALIFORNIA 92011

ME&P: SALEHEI ENGINEERING
8360 CLAIREMONT MESA BLVD,
SUITE 111
SAN DIEGO, CALIFORNIA 92111

CIVIL: KETTLER LEWICK
303 A STREET, SUITE 302
SAN DIEGO, CALIFORNIA 92101

LANDSCAPE: JPBLA
4403 MANCHESTER, 201
ENCINITAS, CALIFORNIA 92124

GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS
5931 SEA LION PLACE, SUITE 109
CARLSBAD, CALIFORNIA 92010

INTERIOR: ISLEY DESIGN
1982 PALSERO AVENUE
ESCONDIDO, CALIFORNIA 92029

CITY COMMENTS: 07/11/18
CITY COMMENTS: 09/11/18
DESIGN CHANGES: 09/11/18
DESIGN CHANGES: 02/21/19

REV: DESCRIPTION: DATE:

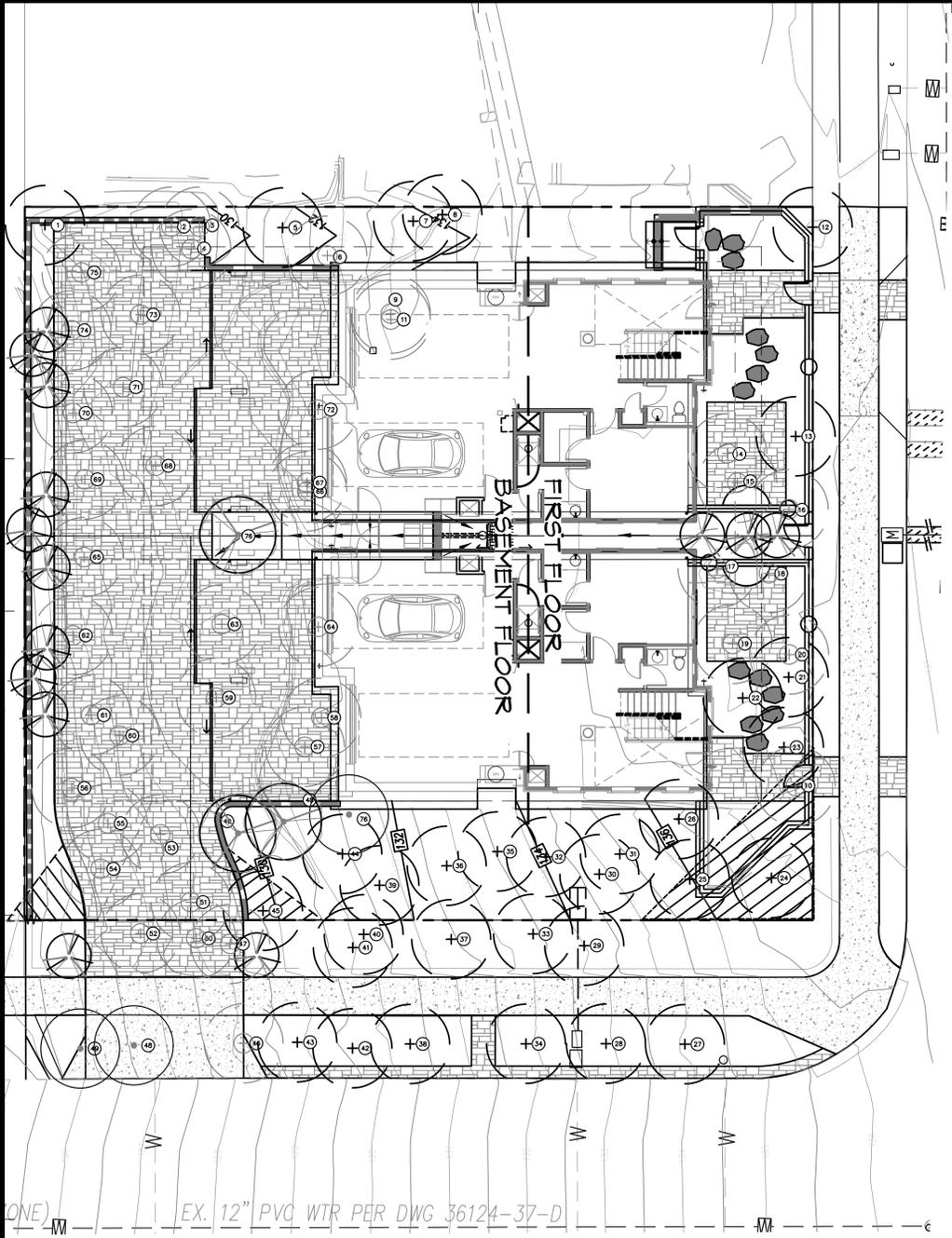
APPROVAL STAMP:
LIBERED LANDSCAPE ARCHITECT
JAMES P. BENEDETTI
Signature: James P. Benedetti
Ren Date: 9/30/14
State: 12/26/13
State of California

SHEET TITLE:
PLANTING PLAN

PROJECT #: 01737.00
DRAWN BY: JPB
CHECKED BY: JPB
SCALE: As indicated
DRAWING PREPARATION DATE: 4/2/18

SHEET NUMBER:
LC-5

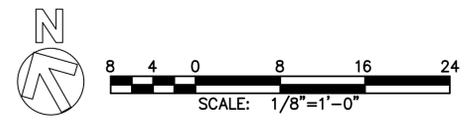
SHEET 5 OF 7



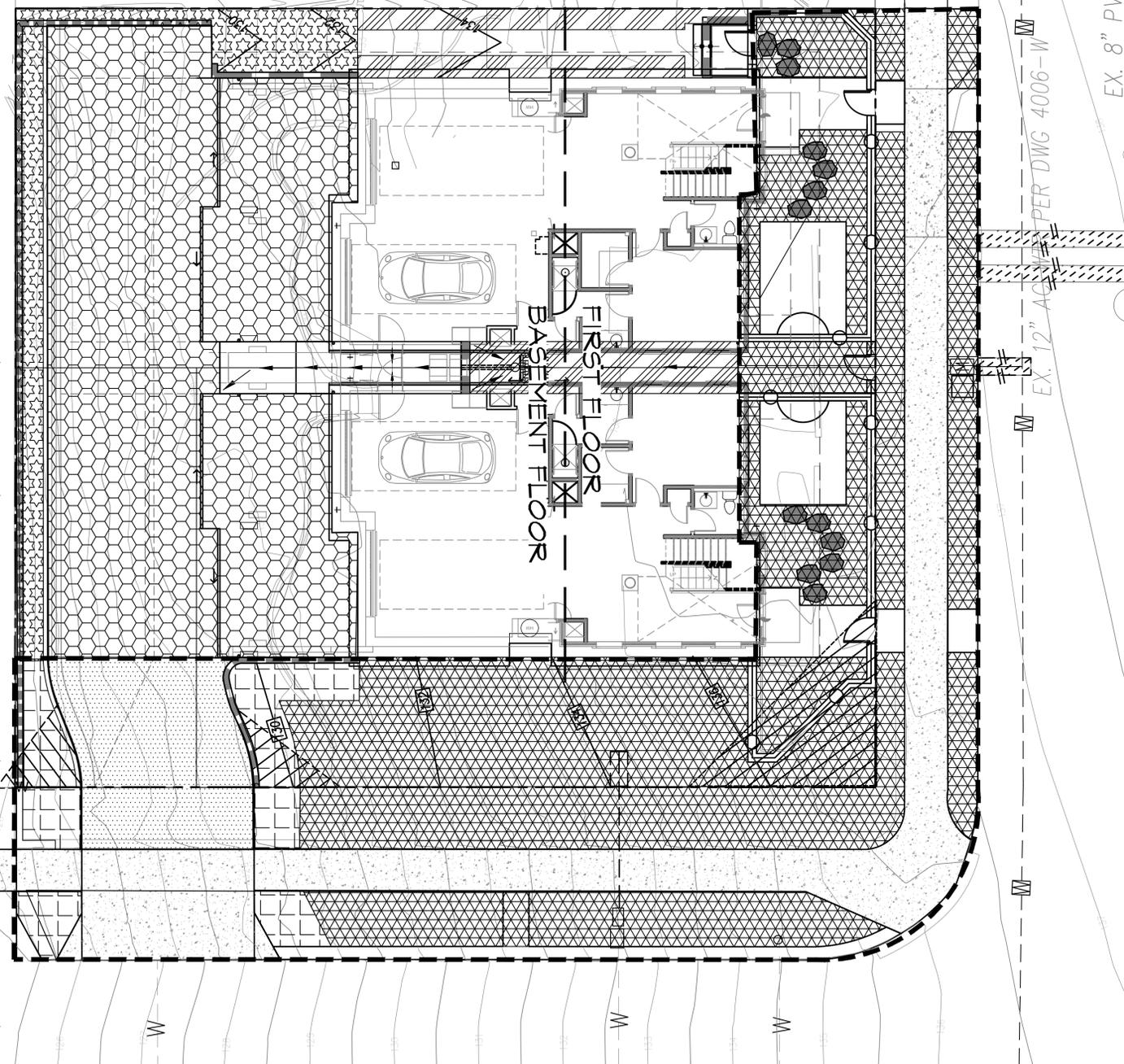
1	DIVISIONA ROTUNDIOLA	ROUND LEAF MOUNTAIN PALM	15		TO PROTECT IN PLACE	
2	TRACHYCARPUS WAGNERIANUS	DWARF CHUSAN PALM	R		REMOVE AND STUMP/GRIND	
3	TRACHYCARPUS WAGNERIANUS	DWARF CHUSAN PALM	R		REMOVE AND STUMP/GRIND	
4	UNKNOWN		R		REMOVE AND STUMP/GRIND	
5	CHAVIROPS FUMILIS	VEGETIAN PALM	10		TO PROTECT IN PLACE	
6	DRACENA MARGINATA	RED MARGINED DRACENA	R	2'	REMOVE AND STUMP/GRIND	
7	PHOENIX ROSELENI	POGONY DATE PALM	15		TO PROTECT IN PLACE	
8	TRACHYCARPUS WAGNERIANUS	DWARF CHUSAN PALM	15		TO PROTECT IN PLACE	
9	HOWIA ORIBIARIANA	C-NIA PALM	R		REMOVE AND STUMP/GRIND	
10	HOWIA ORIBIARIANA	C-NIA PALM	R		REMOVE AND STUMP/GRIND	
11	HOWIA ORIBIARIANA	C-NIA PALM	R		REMOVE AND STUMP/GRIND	
12	PHOENIX FERRE		20		TO PROTECT IN PLACE	
13	UNKNOWN		10		TO PROTECT IN PLACE	FAN PALM
14	HOWIA ORIBIARIANA	C-NIA PALM	R		REMOVE AND STUMP/GRIND	
15	HOWIA ORIBIARIANA	C-NIA PALM	R		REMOVE AND STUMP/GRIND	
16	CALISTEMON CILICINUS		R		REMOVE AND STUMP/GRIND	
17	DIVISIONA ROTUNDIOLA	ROUND LEAF MOUNTAIN PALM	R		REMOVE AND STUMP/GRIND	
18	PHOENIX ROSELENI	POGONY DATE PALM	R		REMOVE AND STUMP/GRIND	
19	NEOXYSPIS DICARII	TRIANGULAR PALM	R		REMOVE AND STUMP/GRIND	
20	PHOENIX ROSELENI	POGONY DATE PALM	R		REMOVE AND STUMP/GRIND	
21	TRACHYCARPUS WAGNERIANUS	DWARF CHUSAN PALM	12		TO PROTECT IN PLACE	
22	UNKNOWN		15		TO PROTECT IN PLACE	FAN PALM
23	HOWIA ORIBIARIANA	C-NIA PALM	6		TO PROTECT IN PLACE	
24	JACARANDA MEMORIALIA	JACARANDA TREE	2	8' 15' 15'	TO PROTECT IN PLACE	
25	CYCAS REVOLUTA	SAGO PALM	7		TO PROTECT IN PLACE	
26	YUCCA ALOE OILIA	YUCCA	0		TO PROTECT IN PLACE	
27	SYAGRUS ROMANZOFFIANA	QUEEN PALM	7		TO PROTECT IN PLACE	
28	BALAUCAERNA STRICATA	CHINOCEROS FOOT PALM	4		TO PROTECT IN PLACE	
29	BRASSIA ARMATA	MEXICAN BLUE PALM	8		TO PROTECT IN PLACE	
30	BRASSIA FIDELIS	GUADALUPE PALM	12		TO PROTECT IN PLACE	
31	CYCAS REVOLUTA	SAGO PALM	1		TO PROTECT IN PLACE	
32	CYCAS REVOLUTA	SAGO PALM	1		TO PROTECT IN PLACE	
33	DASYLIRION LONGISSIMUM	MEXICAN GRASS TREE	2		TO PROTECT IN PLACE	
34	PHOENIX HYBRIDS		10		TO PROTECT IN PLACE	
35	ARCHONTOPHOEMIX ALEXANDRAE	KING PALM	16		TO PROTECT IN PLACE	
36	UNKNOWN		10		TO PROTECT IN PLACE	FAN PALM
37	ACOCORRHAPHES WIGHTII	PAUROUS PALM	15		TO PROTECT IN PLACE	
38	BUTIA CAPITATA	INDO PALM	9		TO PROTECT IN PLACE	
39	BRASSIA FIDELIS	GUADALUPE PALM	18		TO PROTECT IN PLACE	
40	CYCAS REVOLUTA	SAGO PALM	1		TO PROTECT IN PLACE	
41	CYCAS REVOLUTA	SAGO PALM	4		TO PROTECT IN PLACE	
42	BALAUCAERNA STRICATA	CHINOCEROS FOOT PALM	4		TO PROTECT IN PLACE	
43	PHOENIX HYBRIDS		14		TO PROTECT IN PLACE	FAN PALM
44	UNKNOWN		16		TO PROTECT IN PLACE	
45	CHAVIROPS FUMILIS	VEGETIAN PALM	R		REMOVE AND STUMP/GRIND	
46	BALAUCAERNA STRICATA	CHINOCEROS FOOT PALM	R		REMOVE AND STUMP/GRIND	
47	BUTIA CAPITATA	INDO PALM	7		TO PROTECT IN PLACE	
48	BALAUCAERNA STRICATA	CHINOCEROS FOOT PALM	3		REMOVE AND TRANSPLANT	
49	PHOENIX HYBRIDS		12		REMOVE AND TRANSPLANT	
50	BALAUCAERNA CURVATA	ELIPHANT'S FOOT PALM	R		REMOVE AND STUMP/GRIND	
51	BRASSIA ARMATA	MEXICAN BLUE PALM	15		TO PROTECT IN PLACE	
52	SEBAL PALM-TTO	SAGAL PALM	1		TO PROTECT IN PLACE	
53	TRACHYCARPUS WAGNERIANUS	DWARF CHUSAN PALM	R		REMOVE AND STUMP/GRIND	
54	DASYLIRION LONGISSIMUM	MEXICAN GRASS TREE	R		REMOVE AND STUMP/GRIND	
55	ARCHONTOPHOEMIX ALEXANDRAE	KING PALM	R		REMOVE AND STUMP/GRIND	
56	CHAVIROPS FUMILIS	VEGETIAN PALM	R		REMOVE AND STUMP/GRIND	
57	DIVISIONA ROTUNDIOLA	ROUND LEAF MOUNTAIN PALM	R		REMOVE AND STUMP/GRIND	
58	ARCHONTOPHOEMIX ALEXANDRAE	KING PALM	R		REMOVE AND STUMP/GRIND	
59	CYCAS REVOLUTA	QUEEN SAGO	R		REMOVE AND STUMP/GRIND	
60	SEBAL PALM-TTO	SAGAL PALM	R		REMOVE AND STUMP/GRIND	
61	ARCHONTOPHOEMIX ALEXANDRAE	KING PALM	R		REMOVE AND STUMP/GRIND	
62	CHAVIROPS FUMILIS	VEGETIAN PALM	R		REMOVE AND STUMP/GRIND	
63	CHRINUS	JIMMY TREE	R		REMOVE AND STUMP/GRIND	
64	ARCHONTOPHOEMIX ALEXANDRAE	KING PALM	R		REMOVE AND STUMP/GRIND	
65	SEBAL PALM-TTO	SAGAL PALM	R		REMOVE AND STUMP/GRIND	
66	ARCHONTOPHOEMIX ALEXANDRAE	KING PALM	R		REMOVE AND STUMP/GRIND	
67	ARCHONTOPHOEMIX ALEXANDRAE	KING PALM	R		REMOVE AND STUMP/GRIND	
68	PHOENIX ROSELENI	POGONY DATE PALM	R		REMOVE AND STUMP/GRIND	
69	UNKNOWN		R	2' 4' 3'	REMOVE AND STUMP/GRIND	NON NATIVE TREE
70	BRASSIA ARMATA	MEXICAN BLUE PALM	R		REMOVE AND STUMP/GRIND	
71	BALAUCAERNA CURVATA	ELIPHANT'S FOOT PALM	R		REMOVE AND STUMP/GRIND	
72	ARCHONTOPHOEMIX ALEXANDRAE	KING PALM	R		REMOVE AND STUMP/GRIND	
73	HOWIA ORIBIARIANA	C-NIA PALM	R		REMOVE AND STUMP/GRIND	
74	CHAVIROPS FUMILIS	VEGETIAN PALM	R		REMOVE AND STUMP/GRIND	
75	BUTIA CAPITATA	INDO PALM	R		REMOVE AND STUMP/GRIND	
76	CONIOPHANES APICATUS	CONIOPHASTER	R		REMOVE AND TRANSPLANT	

- PLANTING NOTES**
- CONTRACTOR SHALL HAVE A SOIL SAMPLE ANALYSIS COMPLETED BY A LICENSED AGRONOMIC LABORATORY PRIOR TO AND AFTER LEACHING OF SALTS AND PRIOR TO ANY PLANTING OF PLANT MATERIAL.
 - ALL PLANT MATERIAL SHALL BE APPROVED AT THE PROJECT SITE BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY PLANTING. ALL PLANT MATERIAL REJECTED BY THE OWNER'S REPRESENTATIVE SHALL BE REMOVED FROM THE PROJECT SITE AT NO ADDITIONAL COST.
 - ALL PLACEMENT OF PLANT MATERIAL SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
 - ALL PLANT SIZES ARE MINIMUMS. SIZES ARE TYPICAL FOR EACH PLANT SPECIES. ALL PLANTS ARE TO BE FREE OF DISEASE AND SCARS, AND ARE HAVE GOOD COLOR, FULL HEADS AND GOOD CALIPER (15 GALLON - 3/4" MINIMUM, 24" BOX - 1 1/4" MINIMUM, 36" BOX - 2" MINIMUM).
 - PRIOR TO PLANTING, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE FULLY WATERED IMMEDIATELY AFTER PLANTING.
 - PRIOR TO PLANTING, ALL PLANTING AREAS SHALL BE FREE OF WEEDS, ROCKS AND DEBRIS. RAKE AND FINE GRADE ALL PLANTING AREAS PRIOR TO PLANTING.

- UPON COMPLETION OF PLANTING OPERATIONS AND BEFORE ANY SITE OBSERVATIONS, REMOVE ALL EXTRANEOUS MATERIAL AND DEBRIS, AND BROOM AND WASH THE AREA CLEAN.
- ALL LANDSCAPE AND IRRIGATION ITEMS SHALL BE INSTALLED PER THE CITY OF SAN DIEGO'S LANDSCAPE ORDINANCE.
- CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING PLANT MATERIAL UNLESS OTHERWISE NOTED. ANY EXISTING PLANT MATERIAL OR IRRIGATION SYSTEMS DAMAGED AS PART OF OR DUE TO CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIAL AS SHOWN BY SYMBOLS SHOWN ON PLANS. THE QUANTITIES SHOWN ARE FOR REFERENCE ONLY. UNLESS OTHERWISE STATED WITHIN THESE BID ADDENDUMS.
- ALL PLANTING AREAS ADJACENT TO VEHICULAR USE AREAS SHALL HAVE A 6" RAISED CONCRETE CURB - SEE CIVIL ENGINEERING PLANS.



PROJECT TITLE: FROUDE RESIDENCES		CITY COMMENTS: 07/11/18 CITY COMMENTS: 09/11/18 DESIGN CHANGES: 09/11/18 DESIGN CHANGES: 02/21/19
PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107		REV: DESCRIPTION: DATE:
ARCHITECT: JAMES P. BENEDETTI LANDSCAPE ARCHITECT 4403 MANCHESTER AVE., SUITE 201 ENCINITAS, CA 92024 760/479-0644 FAX 760/479-0645		
OWNER: RICHARD HARMON/ JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110	APPROVAL STAMP:	
ARCHITECT: SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL:(619)299-3917 FAX:(619)299-5084	SHEET TITLE: EXISTING TREE PLAN	
STRUCTURAL: SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011	PROJECT #: 01737.00 SHEET NUMBER: LC-6	
ME&P: SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111	SCALE: As indicated DRAWING PREPARATION DATE: 4/2/18	
CIVIL: KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101	SHEET 6 OF 7	
LANDSCAPE: JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124	INTERIOR: ISLEY DESIGN 1982 PALSERO AVENUE ESCONDIDO, CALIFORNIA 92029	



City of San Diego Development Services
 1222 First Ave., MS-501
 San Diego, CA 92101-4154
 (619) 448-5000

Landscape Calculations Worksheet
 Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

- A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.
- At least one-half of the required planting points shall be achieved with trees.

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 5824 sq. ft. x 50% = 2912 sq. ft.	3475 sq. ft.	563 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 5824 sq. ft. x 0.05 = 291 points	329 points	38 points

Points achieved with trees: **329** points

Planting Area allowable as hardscape or unattached unit pavers [142.0405(b)(1)(B)]	Provided
Total Area _____ sq. ft. x 10% = _____ sq. ft.	_____ sq. ft.

REMAINING YARD - 2 Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points in the remaining yard	171 points	171 Points

REMAINING YARD - 3 or more Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points x _____ # of buildings	_____ points	_____ Points

VEHICULAR USE AREA (VUA) - See separate worksheet (DS-5)

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

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 DS-06 (03-09) Reset Form

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 (619) 448-5000

Landscape Calculations Worksheet
 Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (<6,000 sf) [142.0406 - 142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required	Plant Points Provided	Excess Points Provided
Total VUA: 2389 sq. ft. x 0.05 = 120 points	162 points	42 points

Points achieved through trees (at least half): _____ points

VEHICULAR USE AREA (≥6,000 sf) [142.0406 - 142.0407]

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA inside Street Yard: _____ sq. ft. x 0.05 = _____ sq. ft.	_____ sq. ft.	_____ sq. ft.
VUA outside Street Yard: _____ sq. ft. x 0.03 = _____ sq. ft.	_____ sq. ft.	_____ sq. ft.

Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)
VUA inside Street Yard: _____ sq. ft. x 0.05 = _____ points	_____ points	_____ points
VUA outside Street Yard: _____ sq. ft. x 0.03 = _____ points	_____ points	_____ points

TEMPORARY VEHICULAR USE AREA [142.0408]

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: _____ ft. x 3 ft. = _____ sq. ft.	_____ sq. ft.

- Provide planting area between Public Right-of-Way and VUA.
- Plant with evergreen shrubs.
- Shrubs must achieve a minimum height of 30" within 2 years of installation over at least 50% of the required planting area.

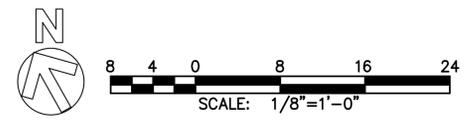
ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

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 DS-5 (03-06)

LANDSCAPE CALCULATION LEGEND

- STREET YARD**
- 5824 SF
- LANDSCAPE WITH STREET YARD**
- 3475 SF
- VUA AREA**
- 2147 SF
- REMAINING YARD**
- 413 SF
- VUA PLANTING WITHIN THE STREET YARD**
- 333 SF
- VUA WITHIN STREET YARD**
- 242 SF
- VUA PLANTING OUTSIDE THE STREET YARD**
- 589 SF



<p>PROJECT TITLE: FROUDE RESIDENCES</p> <p>PROJECT ADDRESS: 1750 Froude Street Ocean Beach, CA 92107</p> <p>ARCHITECT: JAMES P. BENEDETTI LANDSCAPE ARCHITECT 4403 MANCHESTER AVE., SUITE 201 ENCINITAS, CA 92024 760/479-0644 FAX 760/479-0645</p> <p>OWNER: RICHARD HARMON/ JEFF BECKER GOOD-MEN CONSTRUCTION INC. 3940 HANCOCK STREET, SUITE 220 SAN DIEGO, CALIFORNIA 92110</p> <p>ARCHITECT: SFEIR ARCHITECTS 5151 SHOREHAM PLACE, SUITE 100 SAN DIEGO, CALIFORNIA 92122 TEL:(619)299-3917 FAX:(619)299-5084</p> <p>STRUCTURAL: SSE 2091 LAS PALMAS DRIVE, SUITE D CARLSBAD, CALIFORNIA 92011</p> <p>ME&P: SALEHEI ENGINEERING 8360 CLAIREMONT MESA BLVD, SUITE 111 SAN DIEGO, CALIFORNIA 92111</p> <p>CIVIL: KETTLER LEWICK 303 A STREET, SUITE 302 SAN DIEGO, CALIFORNIA 92101</p> <p>LANDSCAPE: JPBLA 4403 MANCHESTER, 201 ENCINITAS, CALIFORNIA 92124</p> <p>GEOTECHNICAL: SMS GEOTECHNICAL SOLUTIONS 5931 SEA LION PLACE, SUITE 109 CARLSBAD, CALIFORNIA 92010</p> <p>INTERIOR: ISLEY DESIGN 1982 PALSERO AVENUE ESCONDIDO, CALIFORNIA 92029</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">CITY COMMENTS</td> <td style="font-size: 8px;">07/11/18</td> </tr> <tr> <td style="font-size: 8px;">CITY COMMENTS</td> <td style="font-size: 8px;">09/11/18</td> </tr> <tr> <td style="font-size: 8px;">DESIGN CHANGES</td> <td style="font-size: 8px;">09/11/18</td> </tr> <tr> <td style="font-size: 8px;">DESIGN CHANGES</td> <td style="font-size: 8px;">02/21/19</td> </tr> <tr> <td style="font-size: 8px;">REV:</td> <td style="font-size: 8px;">DESCRIPTION: DATE:</td> </tr> </table> <div style="text-align: center; margin-top: 20px;"> </div> <p style="font-size: 8px;">APPROVAL STAMP:</p>	CITY COMMENTS	07/11/18	CITY COMMENTS	09/11/18	DESIGN CHANGES	09/11/18	DESIGN CHANGES	02/21/19	REV:	DESCRIPTION: DATE:
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<p style="font-size: 12px; margin-top: 0;">SHEET NUMBER: LC-7</p> <p style="font-size: 8px;">PROJECT #: 01737.00</p> <p style="font-size: 8px;">DRAWN BY: JPB</p> <p style="font-size: 8px;">CHECKED BY: JPB</p> <p style="font-size: 8px;">SCALE: As indicated</p> <p style="font-size: 8px;">DRAWING PREPARATION DATE: 4/2/18</p> <p style="text-align: right; font-size: 8px;">SHEET 7 OF 7</p>	<p style="font-size: 12px; margin-top: 0;">SHEET TITLE: TREE CALCS</p>										

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