

Prepared For
Facilities Management Department
Manatee County Government
Bradenton, FL

Preservation Plan
for the
Crosley Carriage House
(Garage and
Servant's Quarters)

at the
Crosley Museum
Sarasota, Florida

April 26, 2006



HP JP
Crosley Carriage
plan 12/106
Blumberg No. 6137



RENKER-EICH-PARKS
ARCHITECTS

ARCHITECTURE / HISTORIC PRESERVATION

PRESERVATION PLAN
Garage and Servant's Quarters
located at
The Powel Crosley Museum

Prepared for:

Manatee County Government
Bradenton, Florida

April 26, 2006



Renker Eich Parks Architects Inc..
Architecture and Historic Preservation
☞ St. Petersburg, Florida ☞

By:

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Kathryn Younkin
Brian Choquette
Daniel DeBiasio

VOLUME I of I

This publication has been financed in part with historic preservation grant assistance provided by the Bureau of Historic Preservation, Division of Historical Resources, Florida Department of State, assisted by the Florida Historical Commission. However, the contents and opinions do not necessarily reflect the views and opinions of the Florida Department of State, nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Florida Department of State.

Volume I of I
ABSTRACT

This is a Preservation Plan for the Garage and Servant's Quarters located at the Powel Crosley Estate, Sarasota located in Manatee County, Florida.

This report details the findings of Renker Eich Parks Architects of field work completed during February, March and April of 2006. There are five sections of the report covering various aspects of the history, as built conditions and recommendations for the future preservation of the structure. The five sections of the report are:

1- Historical Documentation – A brief overview of the history of the building and the estate and the ties to Powel Crosley Jr. based on published information. Historic research was not included in the scope of work for this Preservation Plan.

2- Building Use - Past, present and future uses for the building which once housed the Garage and Servant's Quarters are noted.

3- As-Built Documentation - Physical Condition Assessment and Recommendations –Describes the condition of the existing walls, foundations, materials and site conditions. Threats to the building are established. Photographs of these conditions of concern are added as exhibits to this section. Preservation treatments are detailed. This section of the report includes exhibits consisting of; Existing Condition Drawings, Restored Condition Drawings, Finish Schedule and details and Door and Window Schedules and accompanying details. Other details necessary to approach the restoration of the building are also included.

4- Code Analysis – A look at building code issues, including accessibility to be considered in the preservation of the building.

5- Probable Cost of Construction – Details the work items discussed in the Physical Condition Assessment section above and creates a cost estimate for these work items.

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- Exhibit 1: Site Plan (1.1)
- Exhibit 2: First Floor Plans (2.1 and 2.1A through 2.7)
- Exhibit 3: Second Floor Plans (3.1 and 3.1A through 3.8)
- Exhibit 4: Roof Plans (4.1, 4.2)
- Exhibit 5: Exterior Elevations (5.1 through 5.4)
- Exhibit 6: Building Section (6.1)
- Exhibit 7: Photographs (Photo 1 through Photo 21)

Restored Condition Drawings

- Exhibit 8: Site Plan (8.1)
- Exhibit 9: First Floor Plans (9.1 and 9.1A through 9.7)
- Exhibit 10: Second Floor Plans (10.1 and 10.1A through 10.8)
- Exhibit 11: Roof Plans (11.1, 11.2)
- Exhibit 12: Exterior Elevations (12.1 through 12.4)
- Exhibit 13: Building Section (13.1)
- Exhibit 14: Stair Details (14.1)
- Exhibit 15: Door Details (15.1 through 15.3)
- Exhibit 16: Window Details (16.1 through 16.4)

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GRANT ASSISTANCE AND TEAM INFORMATION

Grant Assistance

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Team

The preparation of this report was by Renker Eich Parks Architects Incorporated of St. Petersburg Florida. The principal Architect leading the team was John Parks. Kathryn Younkin was the Project Manager for the Report, also preparing the architectural drawings and graphics. Assistance with the graphics and architectural drawings was provided by Brian Choquette and Daniel DeBiasio of Renker Eich Parks. Architectural field work was completed by John Parks.

Alan Meronek was the project manager for Manatee County Government and Elliot Falcione was the liaison with the Powel Crosley Museum.

Historical

1. HISTORICAL DOCUMENTATION

1.1 History

The Powell Crosley mansion known as "Seagate" and the garage and servant's quarters were completed in 1929. The mansion was built for his wife Gwendolyn and was designed under the direction of the office of George Albree Freeman Jr. of New York. Freeman also designed Sarasota's neo-classical downtown Post Office. The builder was Paul. W. Bergman.

Powel Crosley Jr. was an industrialist, inventor and visionary who made his original fortune selling auto parts via mail order. In the 1920's he began producing and selling radios. From that he expanded into broadcasting and owned a radio station and later a television station. He was also an inventor of many household items, such as refrigerators with shelves in the doors, an innovation for his time. He is also known for the invention of the Crosley Car which was first produced in the 1930's and continued in production through the 1950's. Crosley was also the owner of the Cincinnati Reds baseball team, he purchased the team in 1934 and the team played in Crosley stadium until 1970.

The mansion known as Seagate was listed on the National Register of Historic Places in 1983. The listing number for the building is 83001429. Other names for the mansion include Powel Crosley Jr. House and the Bay Club. The building is significant in the areas of architecture. The period of significance for the 20th century revival building is 1925-1949.

The mansion is known for its innovative features, one of which was its telephone system wired into the house for communication with the servant's quarters.

In 1939 Gwendolyn passed away and Powel Crosley Jr. used the house infrequently after that time. During World War II the house was used by the Army Air Corps to house pilots in training. After the war the property was sold to Mabel and Freeman Horton who retained the property east of the Tamiami Trail and lived there for forty years.

The property was acquired by Manatee County in August of 1991 and the estate is currently used to host over 100 public and private events each year including meetings and conferences. Regularly scheduled events include "Shakespeare on the Bay" and "Edgar Allan Poe at the Crosley".

The restored garage and servant's quarters building is to be used in support of these and other activities at the estate.

Bibliography

Bradenton Area Convention and Visitors Bureau, "Seagate, The Powel Crosley Estate".

Cincinnati Post. Powel Crosley Jr. innovator, sportsman dreamed big
(<http://www.cincypost.com/living/1999.pcross040999.html>)

Manatee County Property Appraiser
(<http://www.manateepao.com/>)

National Register of Historic Places
(<http://www.nationalregisterofhistoricplaces.com/fl/Manatee/state.html>)

The Powel Crosley Museum. "Industrialist, Inventor, Visionary"
(<http://www.crosleymuseum.com/pages/texthist.html>)

Wikipedia. "Powel Crosley Jr." (http://en.wikipedia.org/wiki/Powel_Crosley)

Building Use

2. BUILDING USE

2.1 *Original Construction*

When constructed in 1929 the Garage and Servants Quarters provided accommodations for main house staff and various utilitarian functions. The first floor consisted of a three-car garage, located between two apartments, which presumably housed a housekeeper and chauffeur. The front or north rooms of the apartments were living rooms and a minimal kitchen was located directly south with a stair to the second floor, which had a closet below. Behind or south of the main block of the garage were two more rooms, the easternmost of which was a laundry room, which the house staff used to provide laundry service for the main house. Immediately west of the laundry was an electrical room which housed the service entry and a main distribution panel to supply electricity to all areas of the estate that were electrified. Although outdated and deteriorated much of the electrical gear remains intact.

From each of the two first floor apartments, a stair led up to a bath and two bedrooms, on each end (east and west) of the building. Over the garage and between the two apartment bedrooms were three more bedrooms, each with a closet and another or third bath. These rooms were accessible by way of a stair on the south elevation of the building which led up to a long linear porch with three screened openings overlooking the yard to the south and two windows that opened into the hall on the north. A hall way, north of the porch connected each of the three bedrooms with the bath at the east end of the hall.

Although several of the room may have had little use it appears as though the rooms have been used for the original intended functions since 1929.

2.2 *Future Use*

As originally intended the garage building is to be used to support the activities at the main house. It is intended that one of the vintage cars designed by Powel Crosley Jr. is to be stored and displayed in the easternmost of the three garage units. The western most space is to have pre-manufactured walk-in freezer and refrigeration units installed to support the kitchen of the main house. The center garage unit is to be unassigned and used as needed for maintenance at the estate.

The west first floor apartment is to be a day room, possibly with television, for the visiting actors that will reside upstairs. A small kitchen will be just to the south of the day room. Both of the kitchens in the building will need to maintain access to the bedrooms above, as this serves as the only access point to these rooms.

The east apartment living room and kitchen will be used for office space to support the other uses in the building. Potential uses for this space will be offices for estate management, the Crosley Foundation, Inc. and the Powel Crosley Theatre Company.

The laundry room is to be used as a sewing, costume and prop room for the thespian activities which occur on the estate grounds. The electrical room is to be converted to elevator and elevator equipment that will provide access for the physically impaired to the second floor.

On the second floor, at the east end, the two bedrooms rooms and bath will provide residential space for visiting actors. The three bedrooms and bath over the garage will also, again, be used as guest quarters for visiting actors. Of these three bedrooms the west one will be made accessible for a physically impaired individual. In the south wall of the porch one of the screened openings will be infilled and an elevator installed for second floor access. At the west end of the second floor the front or north bedroom will remain as a bedroom accessible from the stair from the west apartment rooms (now kitchen/day room) below. The west bath and the south bedroom are to be modified to provide accessible bathing facilities. This will negate the use of the south bedroom for sleeping but it can be used for linen storage or similar housekeeping functions.

See Exhibits 9.1 and 10.1 for layouts of the spaces.

Assessment

3. AS-BUILT DOCUMENTATION, PHYSICAL CONDITION ASSESSMENT AND RECOMMENDATIONS

3.1 *General*

In order to cover the entire project in a systematic manner the existing conditions and restored conditions are each broken down into Site, Building Exterior and Building Interior.

Site

There are numerous site features directly related to the Crosley Garage and Servant's Quarters building worthy of note. The first feature is a winding sixteen-foot wide concrete driveway, which connects the estate driveway with the parking apron in front of the garage. The driveway has raised curbs and curb drainage inlets, one each side. The entire driveway is presently covered with as much as six inches of soil and vegetation. The condition of the concrete is unknown. It is assumed that the curb inlets connect to the sub-grade drainage system on the site and drain to Sarasota Bay. It is not known but presumed that the drains are now clogged and inoperative, but should be made operational.

Some twenty-five feet deep and extending the full width of the garage building is a concrete apron. The concrete has various construction joints in a grid pattern. The concrete is in fair condition although it is covered in many areas with soil and vegetation, which should be removed, and the concrete cleaned.

At each of the four main entries to the first floor of the building are concrete stoops with a large flat landing on the top and two risers in the front faces. The concrete is in fair condition with minor chipped edges and corners. Minor repairs are necessary. On the south façade, leading to the second floor is a concrete stair with the upper landing supported on two steel pipe columns. The metal handrail system has been removed and the vertical metal newels have been cut off flush with the tread in which they are located. The concrete is in fair condition and needs only minor repairs. The handrail system should be replaced.

Near the center of the south elevation of the building are four concrete masonry piers some four feet tall. These piers appear to have supported, at one time, a tank for either fuel for heating the building or storing water from the roof drainage by way of downspouts leading from the scuppers located on the back of the building. The piers are in fair condition although one is now out of plumb, probably due to the roots from the nearby pine tree. The piers should remain in place.

Also located in the yard south of the building is a two foot in diameter glazed clay lid covering a receptor device of unknown purpose. It appears to have been the dry well for the roof drainage however the small size does not seem sufficient. It is in fair condition and should be protected. Further information about its use might be gleaned from tracing out the piping that runs to or from the receptor.

The last item of note is the heavy vegetation surrounding the building. With the exception of

the pine trees, which should be left in place and protected, all standing vegetation should be removed within one hundred feet of the building. All plants should be cut off level with the grade and killed with an herbicide. The roots should not be removed or disturbed leaving all archaeological resources intact.

Building Exterior

The Crosley Garage and Servant's Quarter's building was constructed, like the main house, to be a substantial addition to the estate. The exterior structural walls generally consist of concrete (presumed) foundations with red clay brick and red clay tile masonry walls. At the front of the building in the area of the garage doors the wall extends above the adjacent roofs to form a parapet to conceal the nearly flat roof behind. The structure of the building appears to be in fair condition. Over the last several years the roofs have deteriorated and rainwater has entered the building causing extensive damage to the point of making the floor structure unsound and unsafe. The interior gypsum plaster has deteriorated and in many areas the substrate masonry is now exposed. The condition of the substrate masonry appears sound but the issue will have to be further investigated during the demolition process. The walls of the laundry and electric rooms have also deteriorated due to the intrusion of vegetation root growth into the walls. Portions of the walls will have to be demolished and replaced in order to have a structurally sound wall. At the three-garage door heads the steel lintels buried within the masonry and stucco have oxidized and the metal has expanded to crack the stucco and allow more water intrusion. Several of the door and window heads will need repair work or rebuilding.

The entire exterior of the structure is clad with Portland cement stucco, which was painted shortly after construction. The stucco is in fair condition and is soiled and stained with mildew and algae growth. Very careful cleaning procedures using chemical cleaners will need to be undertaken to remove the mildew and algae. Testing in small areas will be necessary to determine the least invasive materials and methods. After cleaning the walls will need to be repaired to remove the minor areas of damage and deterioration. As a final restoration procedure the walls will be painted.

On the north facade, at the parapet, a terra cotta medallion was set in the masonry and surrounded by stucco. The medallion was removed for safekeeping and is in the possession of the County. The medallion should be reinstalled and sealed at the perimeter.

In the north and south facades both at ground level and near the roof level there are clay tiles set in the walls forming geometric shapes and which act as vents to let air circulate into and out of the small attics and crawl spaces. The tiles are in fair condition and some repairs are required.

In each facade there is at least one door and three or more windows. The doors are either two wood panels with glass panel in the top, five wood panels or sixteen panels, wood and glass, garage doors. The pedestrian doors had wood framed screen doors on the exterior. See Exhibit 15.1 for door panel arrangement and location. The windows are of different sizes but are double hung wood windows with either three, four or five vertical panes of glass in the top sash and single panes in the bottom sash. The windows also have wood framed insect screens.

See also Exhibit 16.1 for window information. See door and window schedules (Report sections 3.6 and 3.7) for details of size, hardware, condition and recommended restoration procedures. In general the doors and windows are all in poor condition with very little material to be salvaged and reused.

In addition to those items noted above there are several other items of note on the building exterior. Above each of the two pedestrian doors in the north façade are wood framed and trimmed hoods with tile roofs. These hoods provide weather protection for the doors below and some protection for pedestrians using the door.

The east and west apartment areas are capped with tile roofs. The west unit has a gable roof with the gables on the north and south facades while the east unit has a hipped roof. The tiles are Spanish barrel tiles in a red color. The hoods are in poor condition and are to be replaced in kind. Between the tile roofs over the garage area is a relatively flat area that is covered with a built-up asphalt roof material. This roof is surrounded on the east and west by tile and on the north and south by parapet walls. The roof is at the highest elevation on the east, north and west sides and slopes to the center of the south wall where a thru-wall scupper allows rain to exit the roof. Over the electrical and laundry rooms is a three inch thick concrete roof supported by the roof joists below, which is constructed similarly to the roof over the garage area with the perimeter on three sides being a level elevation and the roof sloping to the center of the middle of the south wall with the rain water exiting through a thru-wall scupper. Each of the three thru-wall scuppers empties into a galvanized metal leaderhead, which is drained by a galvanized metal rectangular downspout. In the grade below the downspouts are flanges for the beginning of underground piping, which presumably connects to a drain system emptying into Sarasota Bay. The entire roof systems, tile, built-up roofing, concrete, flashing, scuppers, leaderheads and downspouts are in poor condition and are all to be replaced. The built-up and concrete roofs are now partially or entirely collapsed.

Building Interior

The interior of the building has suffered from deterioration as a result of the deterioration of the roof, window and exterior doors. The wood framing members of the roof, ceiling, second floor and first floor and associated plaster finishes have suffered much deterioration with total collapse in some areas. Portions of partitions, doors and windows have collapsed or are deteriorated so as to be unsalvageable. Termite infestations have also contributed to the deterioration.

The finished flooring is concrete (slab on grade) in the garage, laundry room and electrical room of the first floor and the porch of the second floor. All other floors in the building are pine tongue and groove wood flooring. All walls are plaster on hollow clay tile or lathing (wire or gyp-lath) on wood studs. The ceilings are plaster on lathing on joists. The plaster condition of walls and ceilings ranges from good to poor and non-extant in many areas. See Finish Schedule 3.5 for a listing of materials, conditions and recommended restoration procedures.

The only anomaly to the typical wood framing is two steel beams in the ceiling of the garage that support the wood framing over the three bay garage. These two beams are wide flange beams spanning north and south and divide the garage into three bays. These beams are below

the wood framing and are covered with plaster matching the adjacent plaster ceiling. These beams are deteriorated and in poor condition, due to water penetration. The beams need to be replaced.

The interior doors, windows and associated hardware are detailed in section 3.6 and 3.7 of this report as to description, condition and repair or replacement procedures

The building has no air conditioning system or heating at present. It is recommended that a fan coil system be used. This system is initially more expensive to install but given the building construction is the only viable system available. There are minimal spaces available below the first floor rooms and none above the second floor and below the roof for the installation of air handling units and ductwork. The ductwork would have to be installed below ceilings and boxed out within the rooms to be concealed. For the installation of the air handling units it would require the use of a room or rooms which would use space needed for other functions. In the restored building this option is not acceptable. The fan coil system would require that the single unit be installed in a remote location away from the garage building and piping would run to separate fan coils located in each room. This will allow all piping to be concealed, each room will have its own unit and therefore control over the temperature. This is particularly important in the six sleeping rooms on the second floor.

The plumbing is to consist of three bathrooms, each with lavatory, water closet and tub with shower and also two kitchens on the first floor with minimal efficiency type units available to keep food cold, warm up a meal and wash dishes. The existing systems are in poor condition. All the existing fixtures need to be reconditioned with all new parts and all piping to the sewerage system need to be replaced. The third bathroom on the second floor is to get new fixtures that are accessible compliant. In the west kitchen the original sink and base cabinet exist and are to be restored to original condition along with the new efficiency kitchen unit.

The entire electrical system for the building from the service entry to the fixtures and devices are in poor condition and must be replaced in their entirety. It is recommended that a new underground service entry be brought to the building, to the same location as the original point of entry. A meter would be mounted on the building, west wall of the laundry room. Immediately inside the building in the laundry room would be a panel from which electricity would be distributed to all areas of the building. The electrical supply to each room would be upgraded from the original one receptacle in each room to three receptacles or as required by code. The lights for each room would match the original with a fixture in the center of each room ceiling and supplemental lighting would be provided by free standing task lights. Power would be provided to miscellaneous fixtures such as the laundry and the kitchen units.

The original electrical room is to be divided into two rooms, one being the shaft for a new elevator and a room to house the elevator equipment. The installation of an elevator will necessitate the construction of the elevator shaft up to the roof level on the south elevation where there was originally a view of the south yard from the screen porch on the second floor. Portions of the screen porch will remain but this porch will be the accessible means to the second floor. Along with the elevator a bedroom will be made accessible as well as the third bath on the west end of the building on the second floor. This installation causes several doors

to be widened and some minor relocation of partitions. See Exhibit 10.1 and 10.1A for restored floor plans.

3.2 *Existing Conditions*

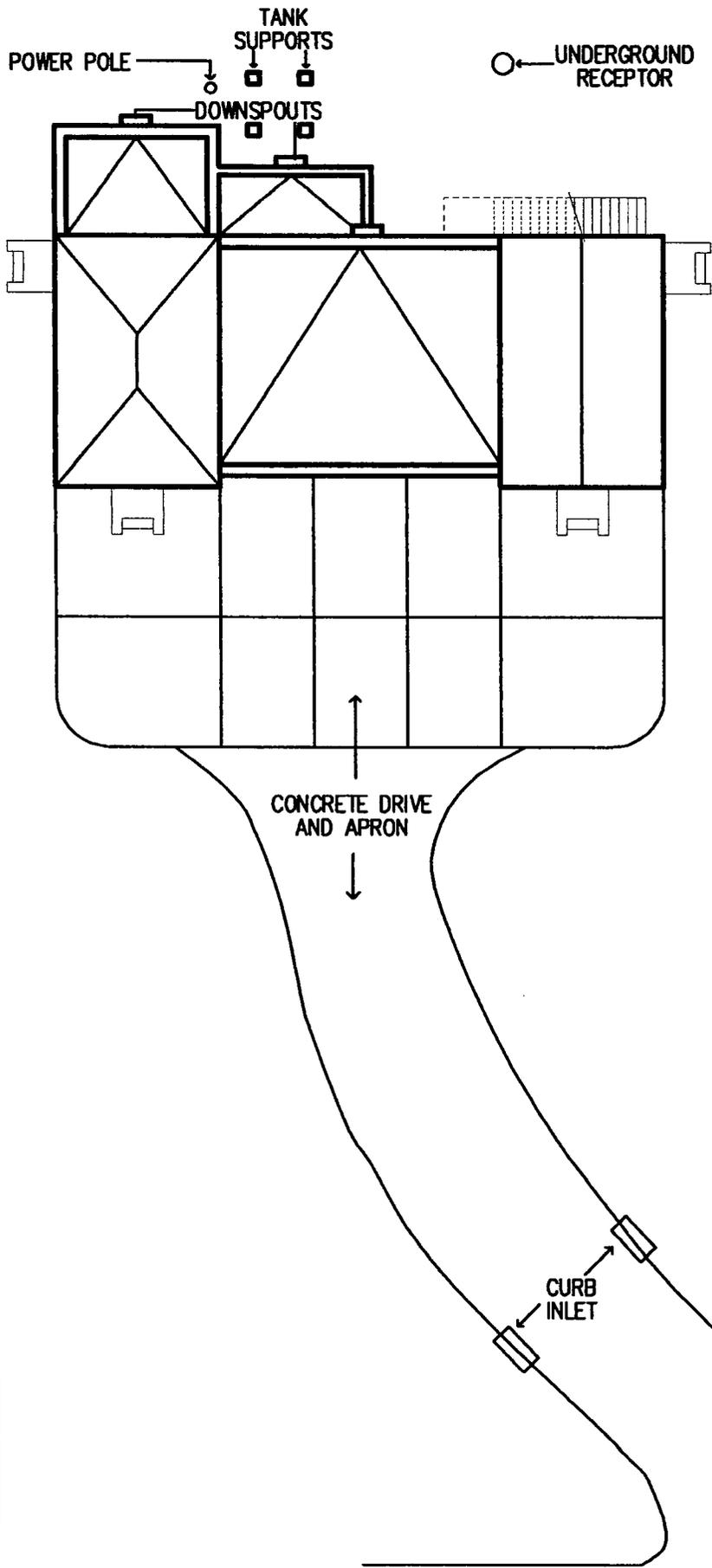
See Exhibits 1 through 7 for annotated plans and photographs of Existing Conditions.

3.3 *Restored Conditions*

See Exhibits 8 through 16 for annotated plans of Restored Conditions.

3.4 *Work Summary*

The very deteriorated condition of the Crosley Garage and Servant's Quarters will necessitate the removal of all wood within the building, floor and roof framing, flooring, doors, windows, trim, stairs and all rough carpentry. At the conclusion of demolition only the masonry walls and concrete slabs on grade will remain. During the demolition careful salvaging of wood components will allow selective reuse of some materials. It is hoped that one at least one room can be trimmed out with original materials and enough roof tiles salvaged to rebuild the door hoods and maybe portions of the hip or gabled roofs.



PRESERVATION PLAN
GARAGE AND
SERVANTS' QUARTERS
THE POWEL CROSBLEY MUSEUM
SARASOTA, FLORIDA

DATE:
APRIL 26, 2006

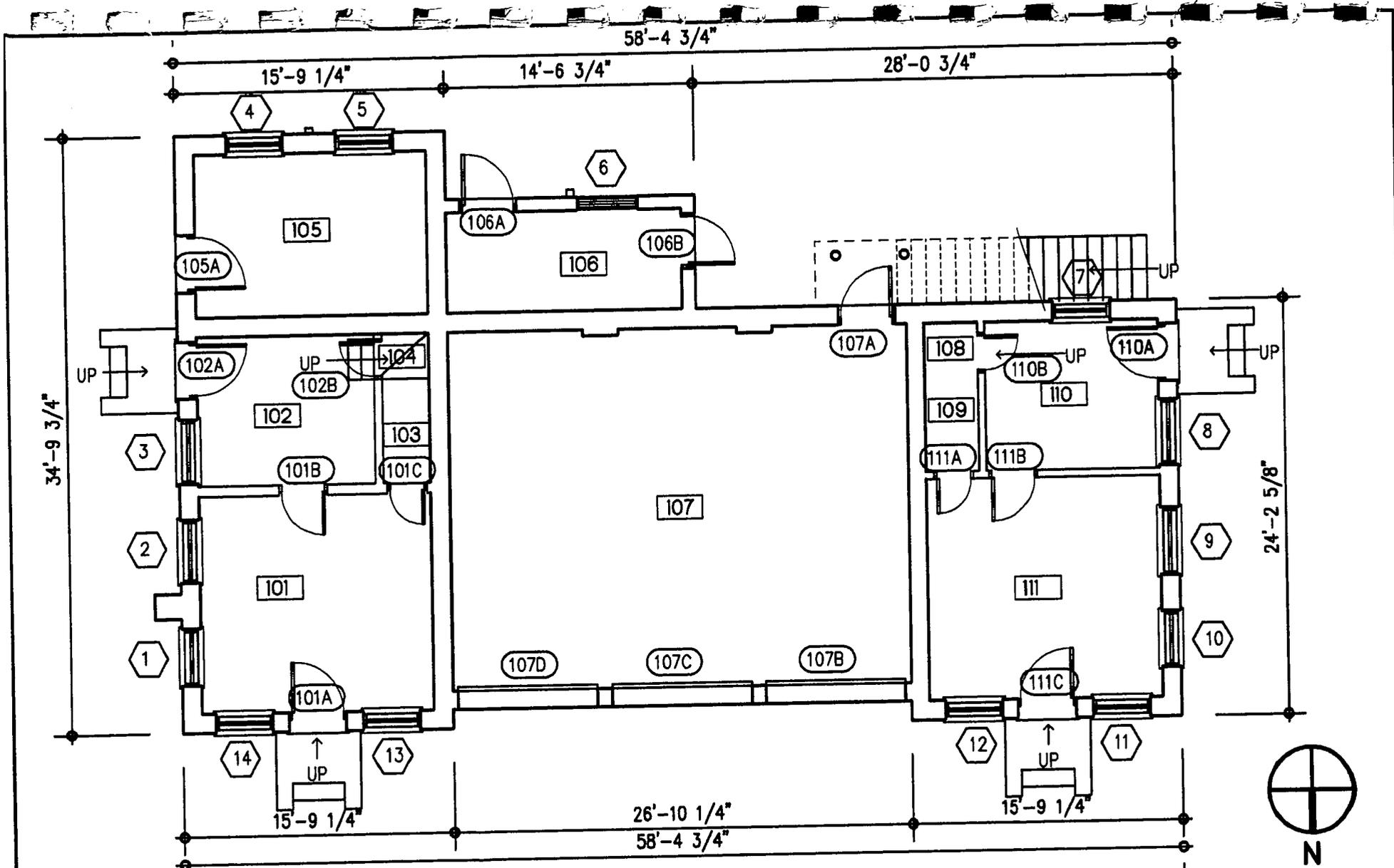
SCALE:
1/16" = 1'-0"

EXISTING
SITE
PLAN

EXHIBIT 1.1

RENKER EICH PARKS ARCHITECTS

1609 DR. M.L. KING JR. STREET NORTH, ST. PETERSBURG, FLORIDA 33704 (727) 821-2986



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

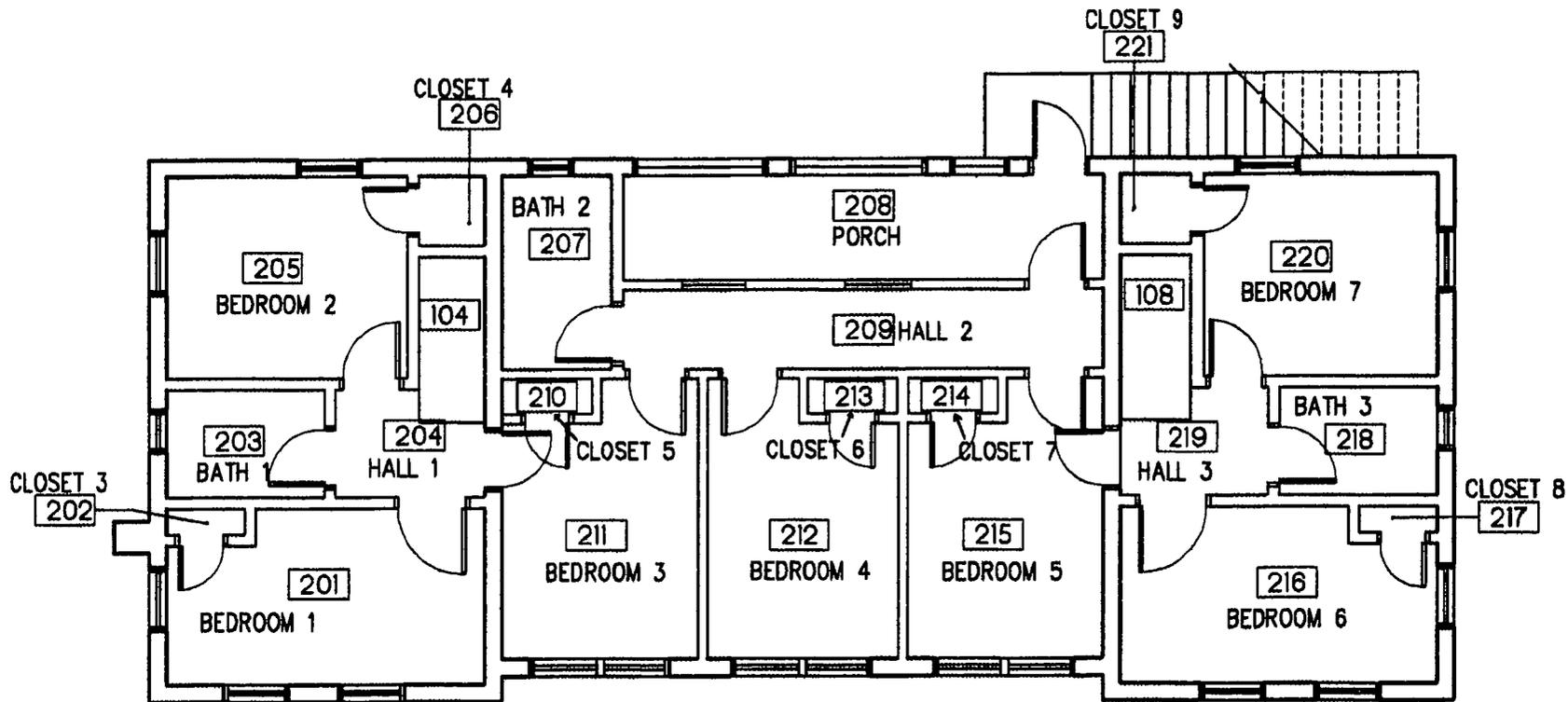
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SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
FIRST
FLOOR
PLAN

EXHIBIT 2.1



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2988

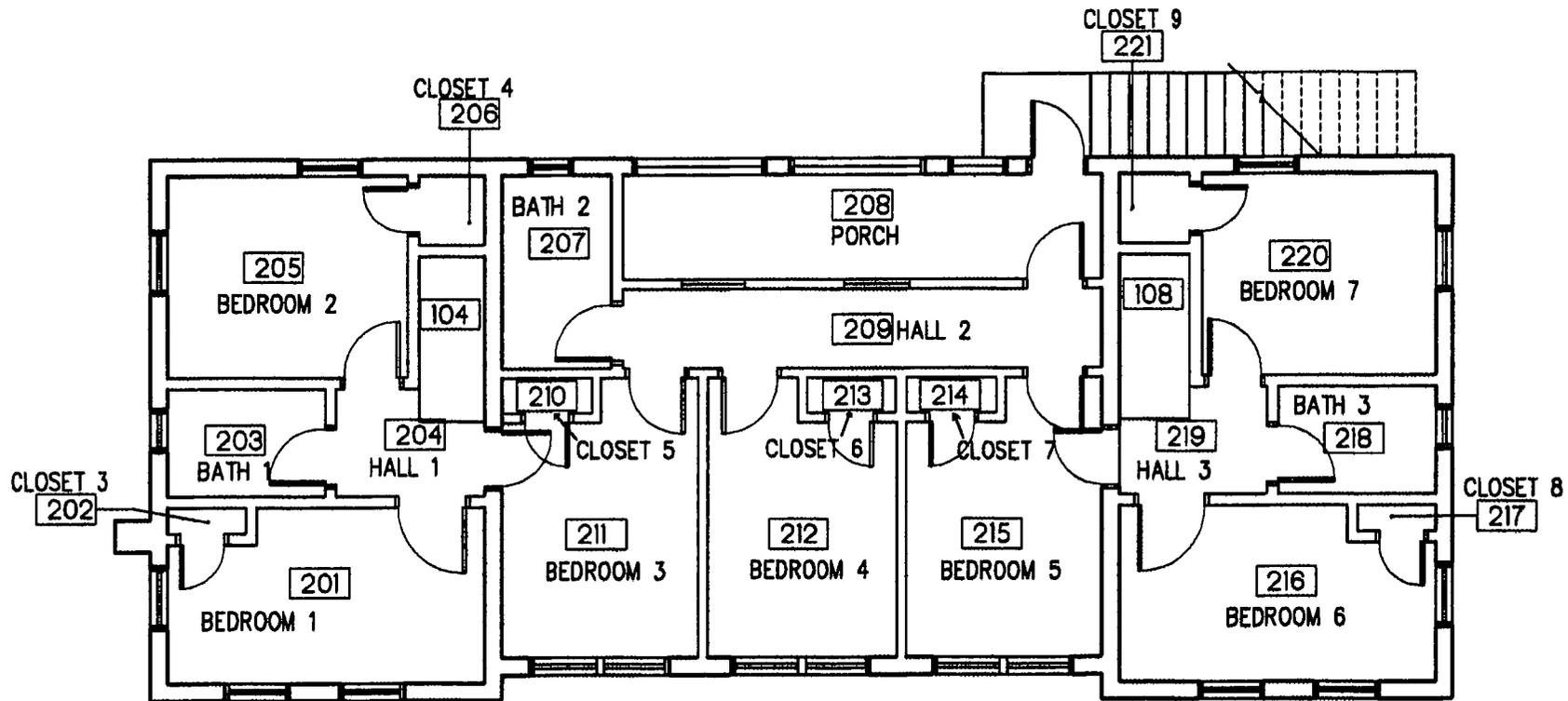
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DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR
PLAN

EXHIBIT **3.1A**



RENKER EICH PARKS ARCHITECTS

1809 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2988

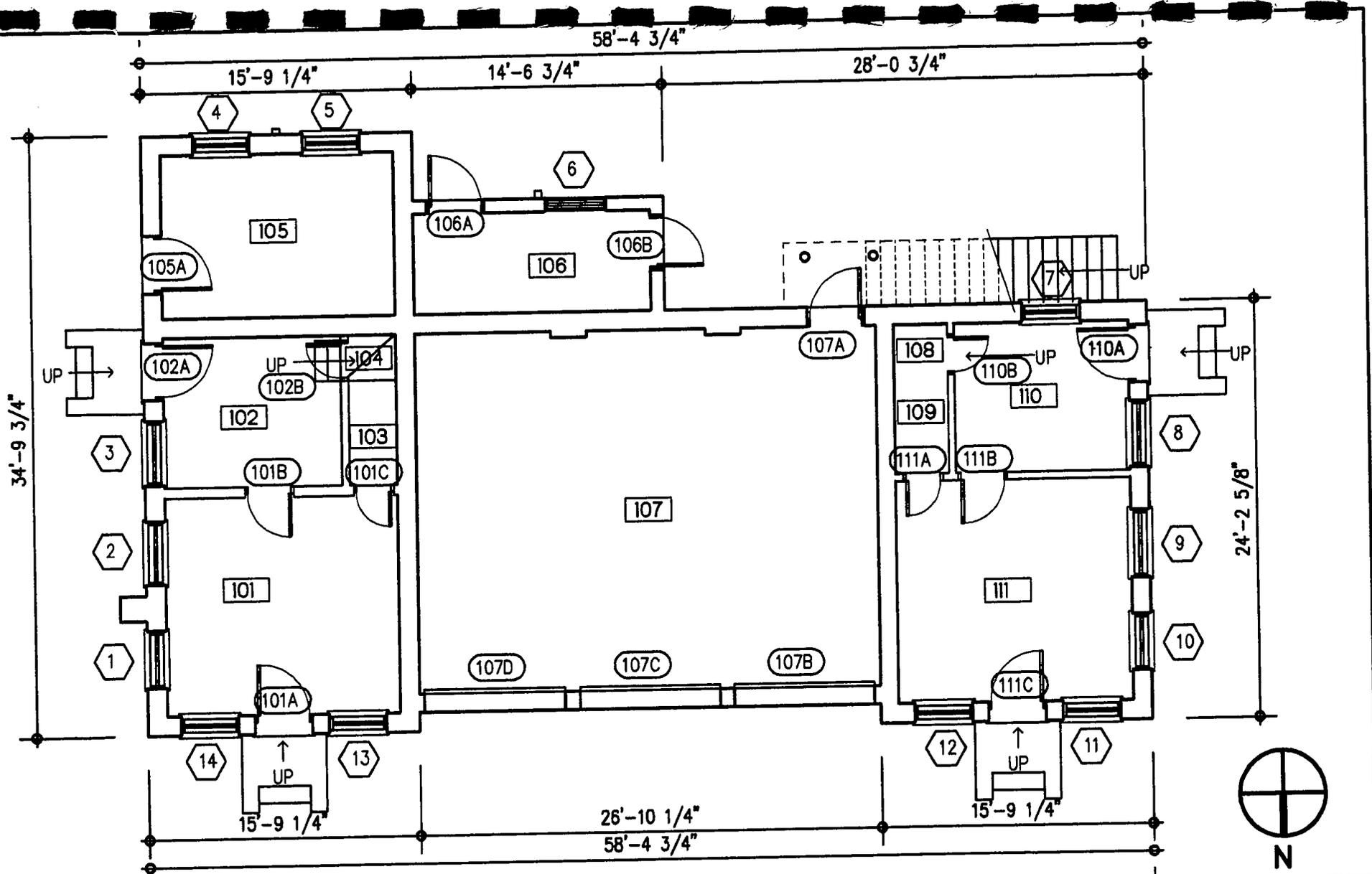
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APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR
PLAN

EXHIBIT **3.1A**



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

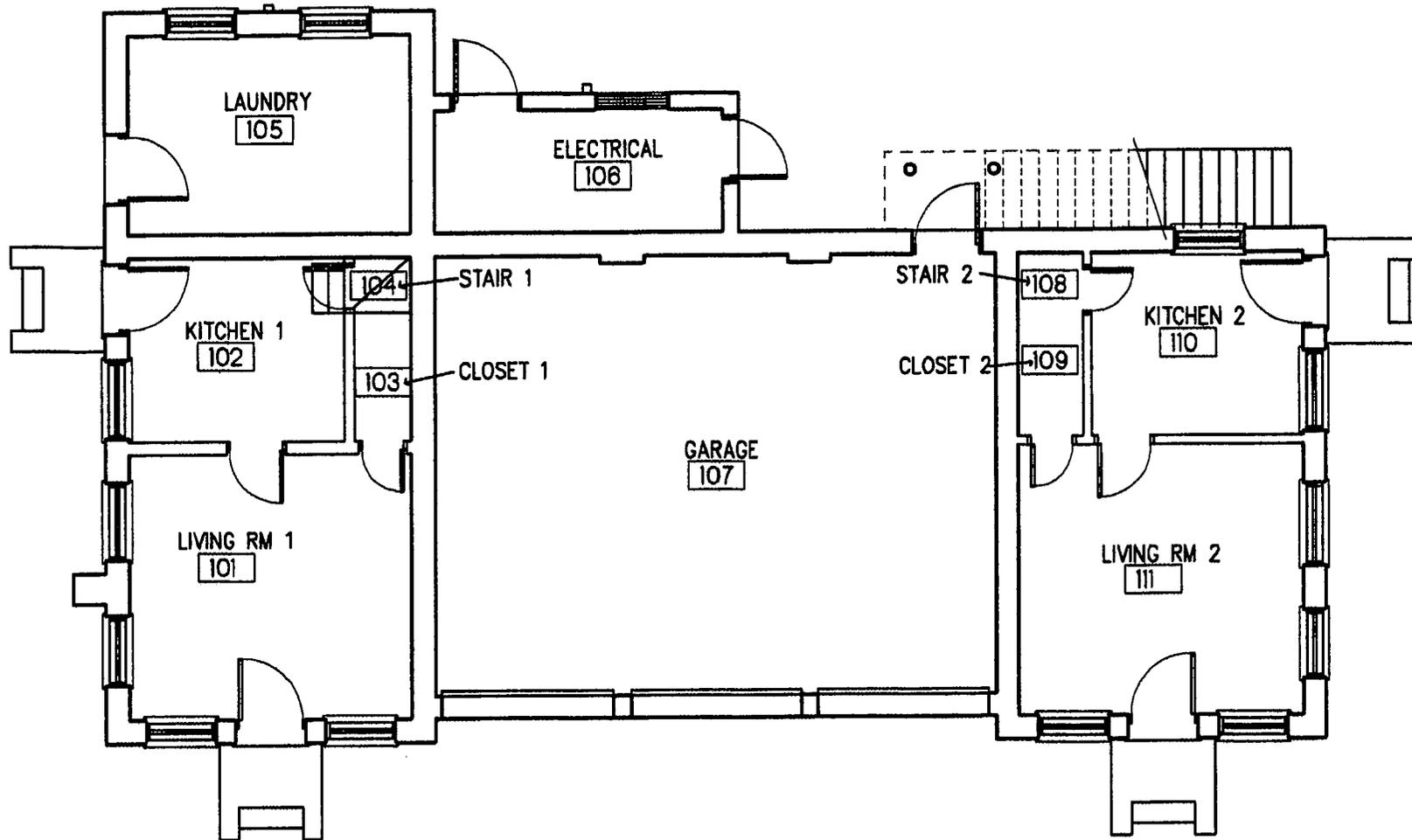
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SCALE:
1/8" = 1'-0"

EXISTING
FIRST
FLOOR
PLAN

EXHIBIT 2.1



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

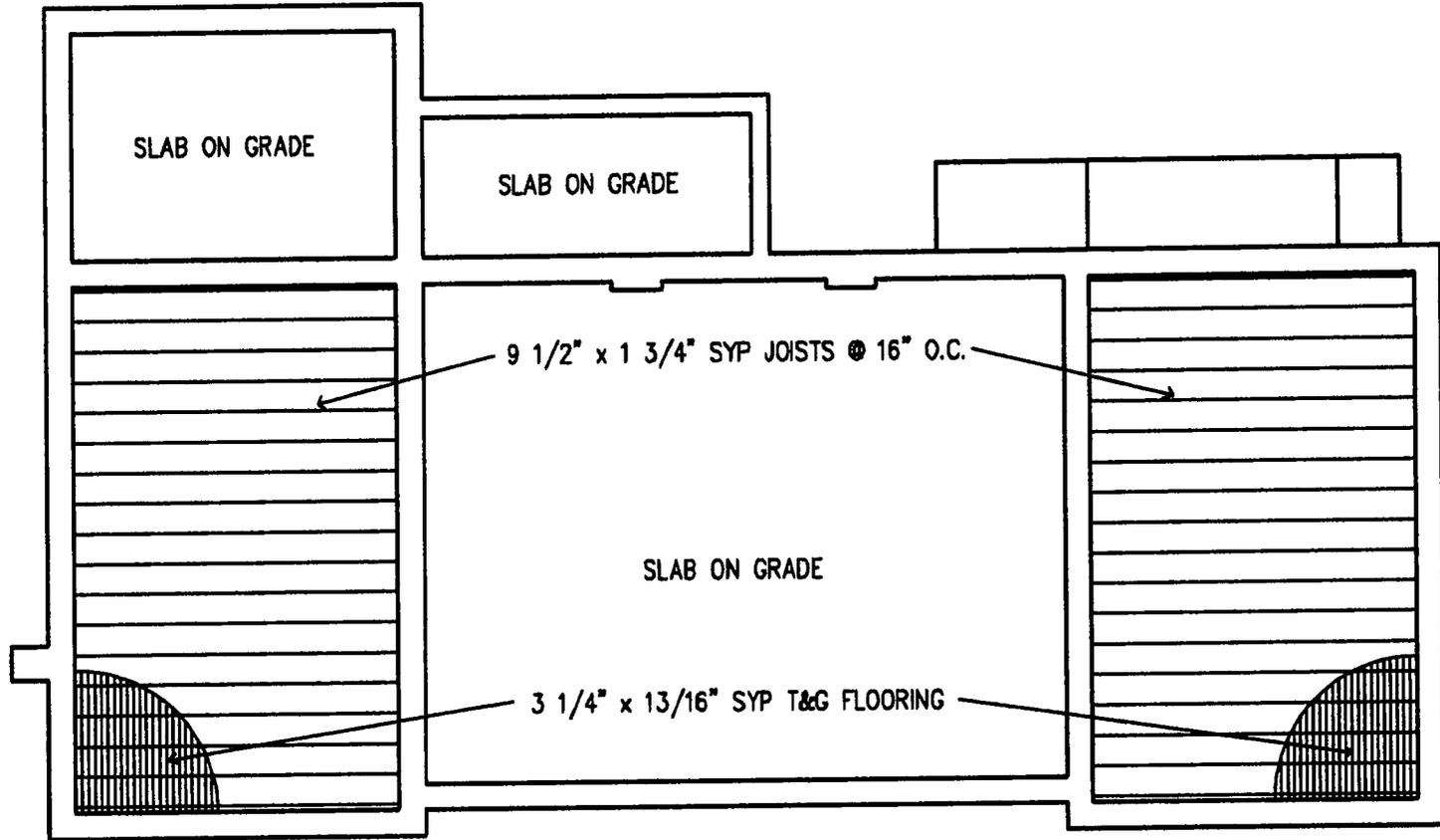
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THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
FIRST FLOOR
ROOM NAME
PLAN

EXHIBIT 2.1A



RENKER EICH PARKS ARCHITECTS

1809 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2988

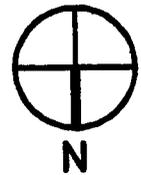
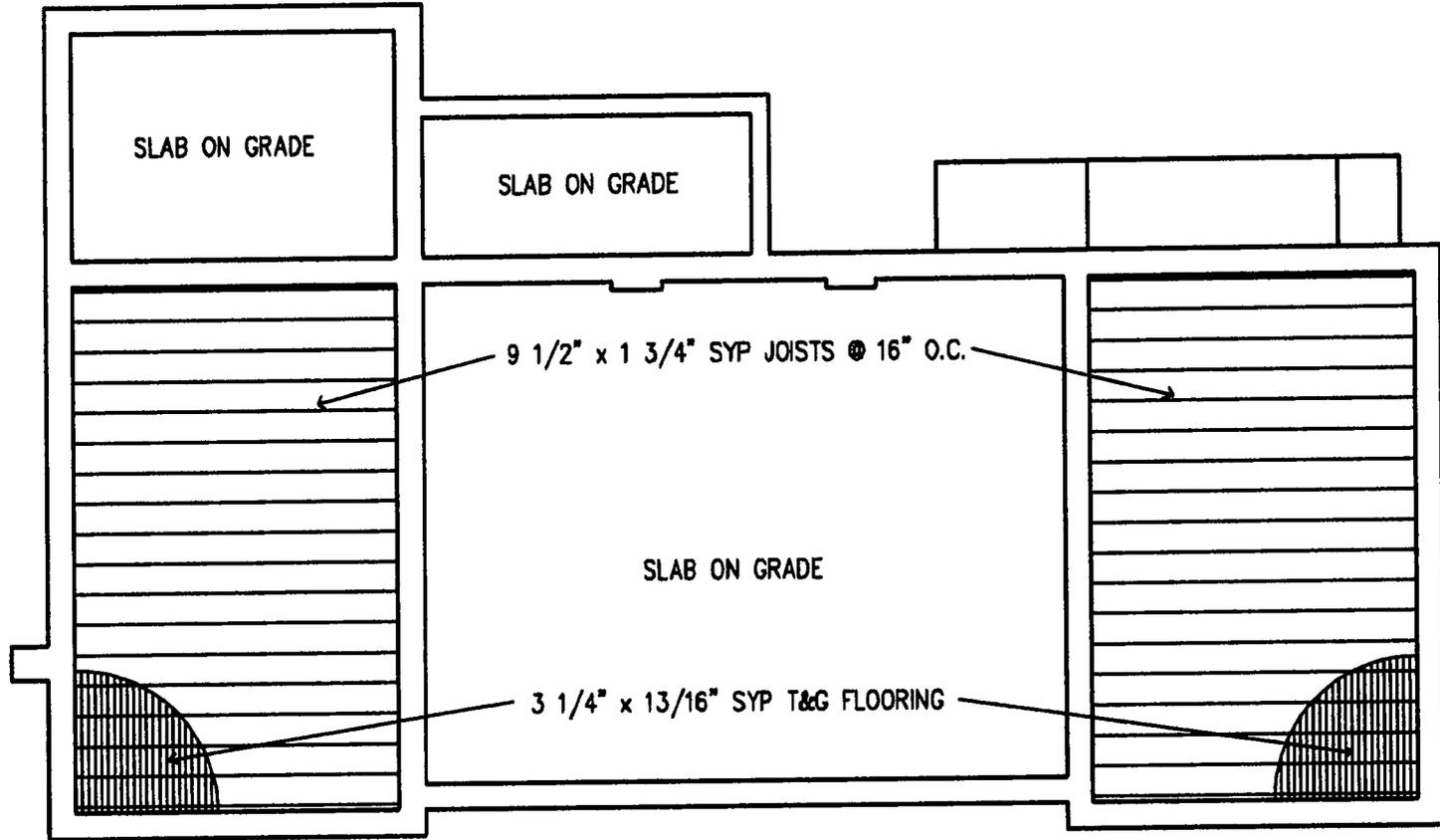
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THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
FIRST
FLOOR
FRAMING PLAN

EXHIBIT 2.2



RENKER EICH PARKS ARCHITECTS

1809 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2988

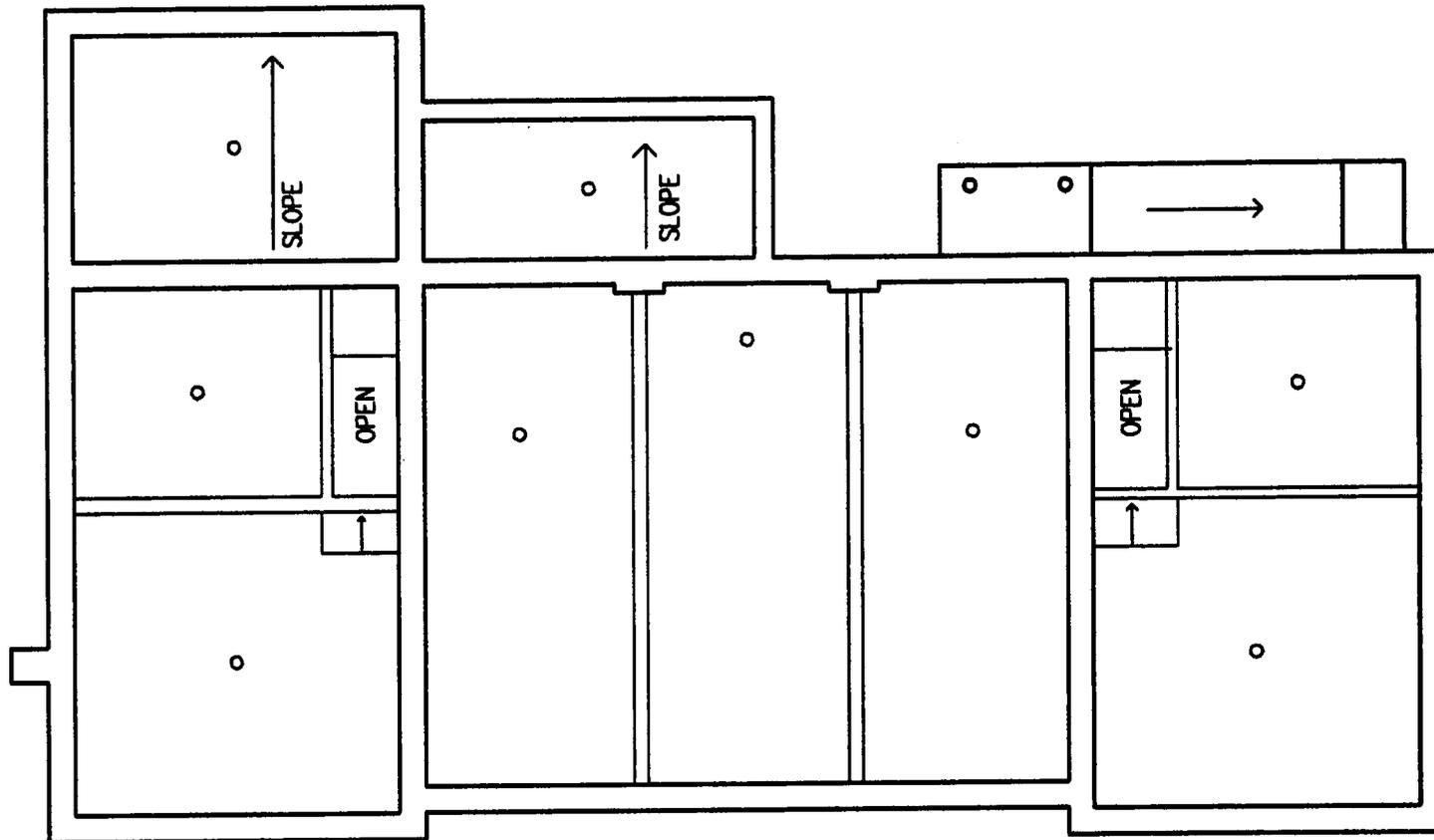
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SCALE:
1/8" = 1'-0"

EXISTING
FIRST
FLOOR
FRAMING PLAN

EXHIBIT 2.2



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

PRESERVATION PLAN

**GARAGE AND
SERVANT'S QUARTERS**

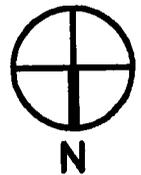
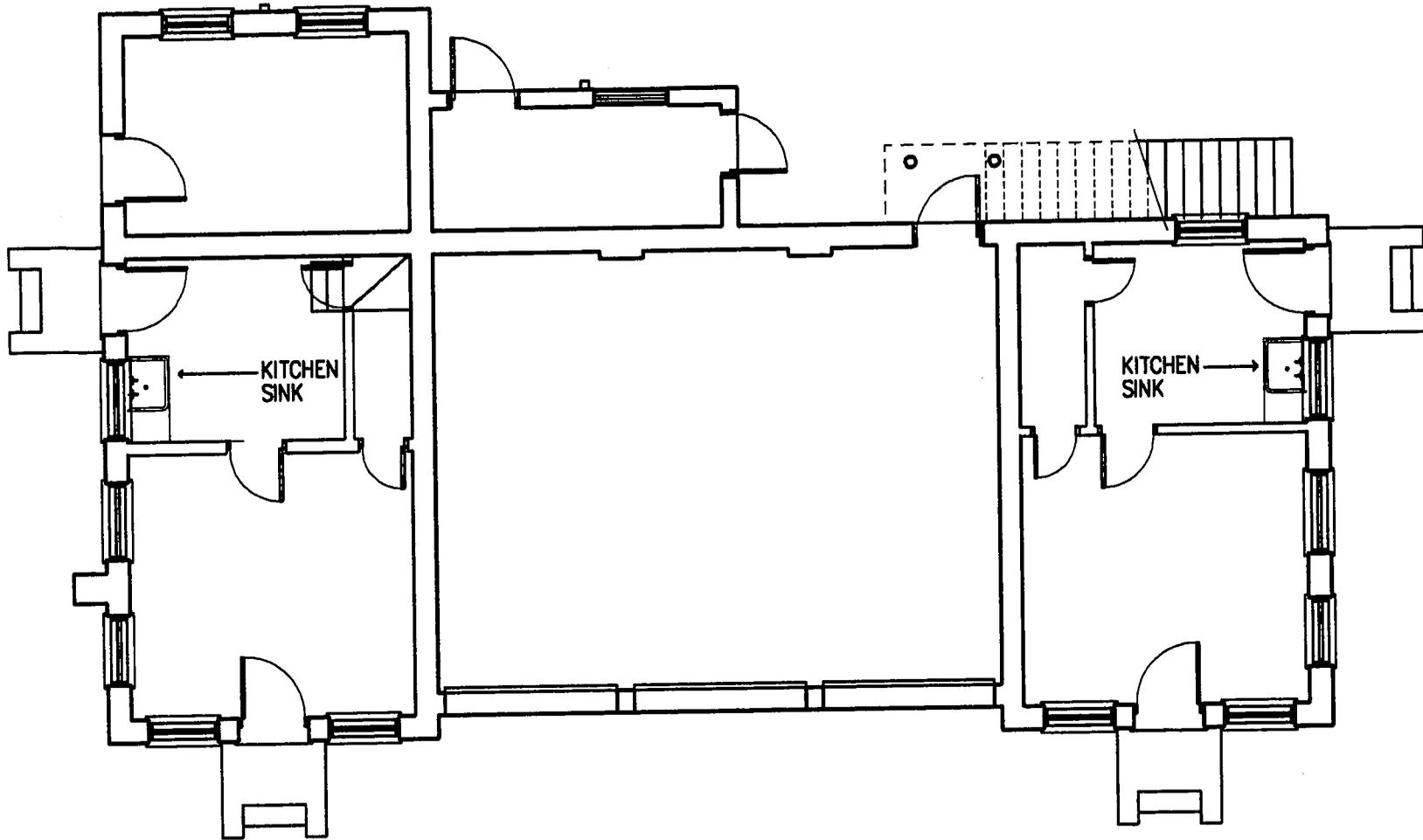
**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
FIRST
FLOOR REFLECTED
CEILING PLAN

EXHIBIT 2.3



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

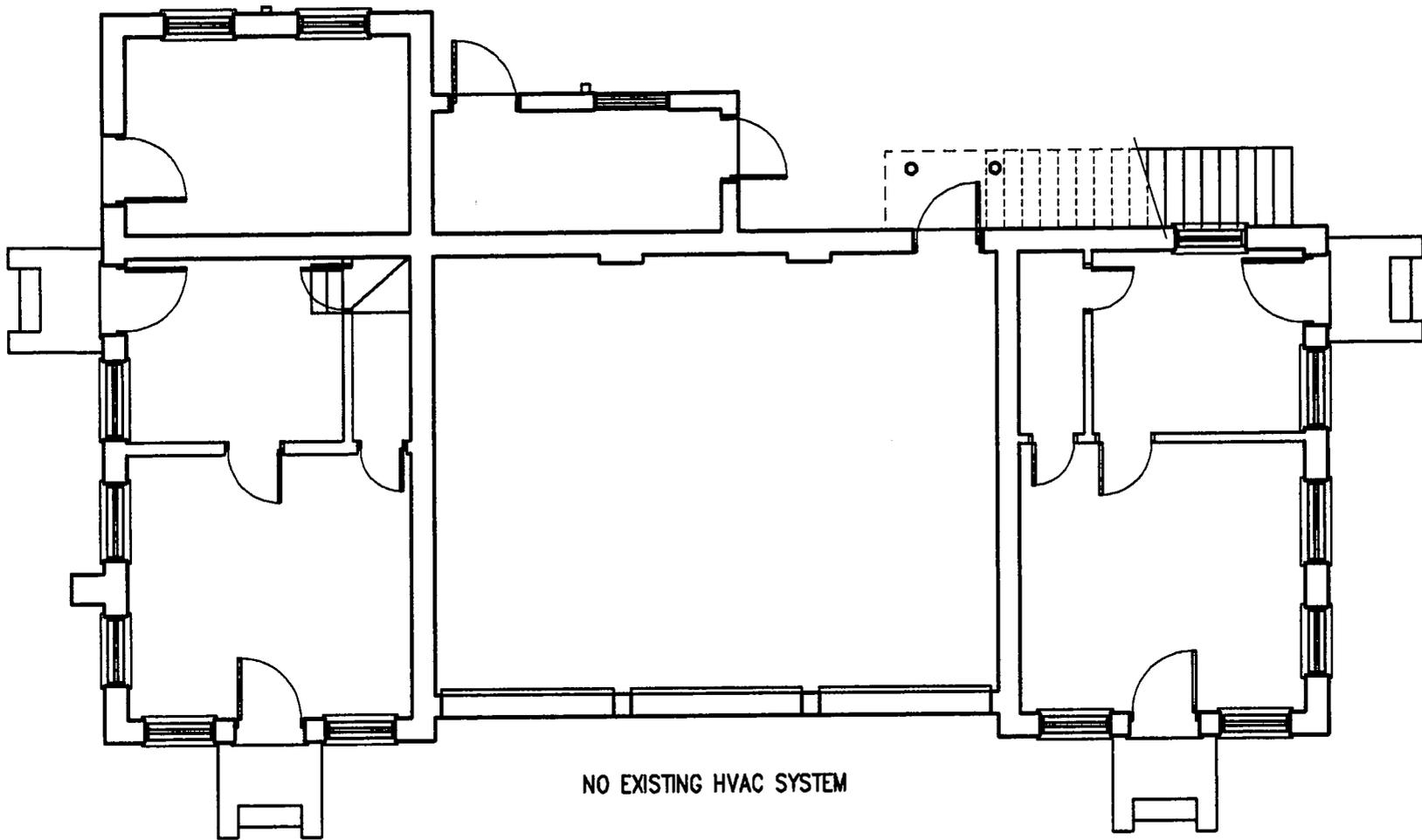
PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA

DATE:
 APRIL 26, 2006

SCALE:
 1/8" = 1'-0"

EXISTING
 FIRST
 FLOOR
 PLUMBING PLAN

EXHIBIT 2.4



NO EXISTING HVAC SYSTEM



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

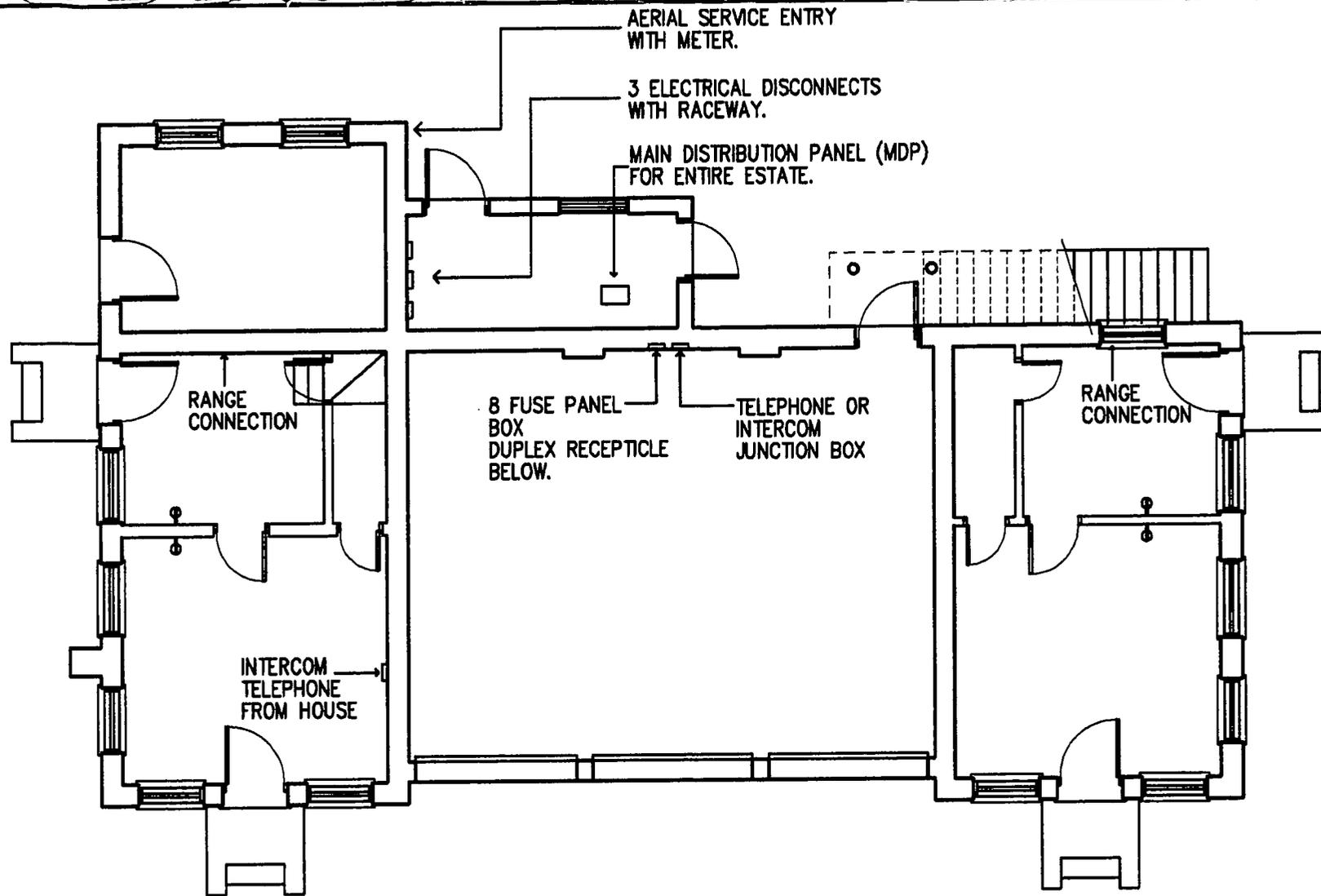
PRESERVATION PLAN
GARAGE AND
SERVANTS' QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA

DATE:
 APRIL 26, 2006

SCALE:
 1/8" = 1'-0"

EXISTING
 FIRST
 FLOOR
 HVAC PLAN

EXHIBIT 2.5



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

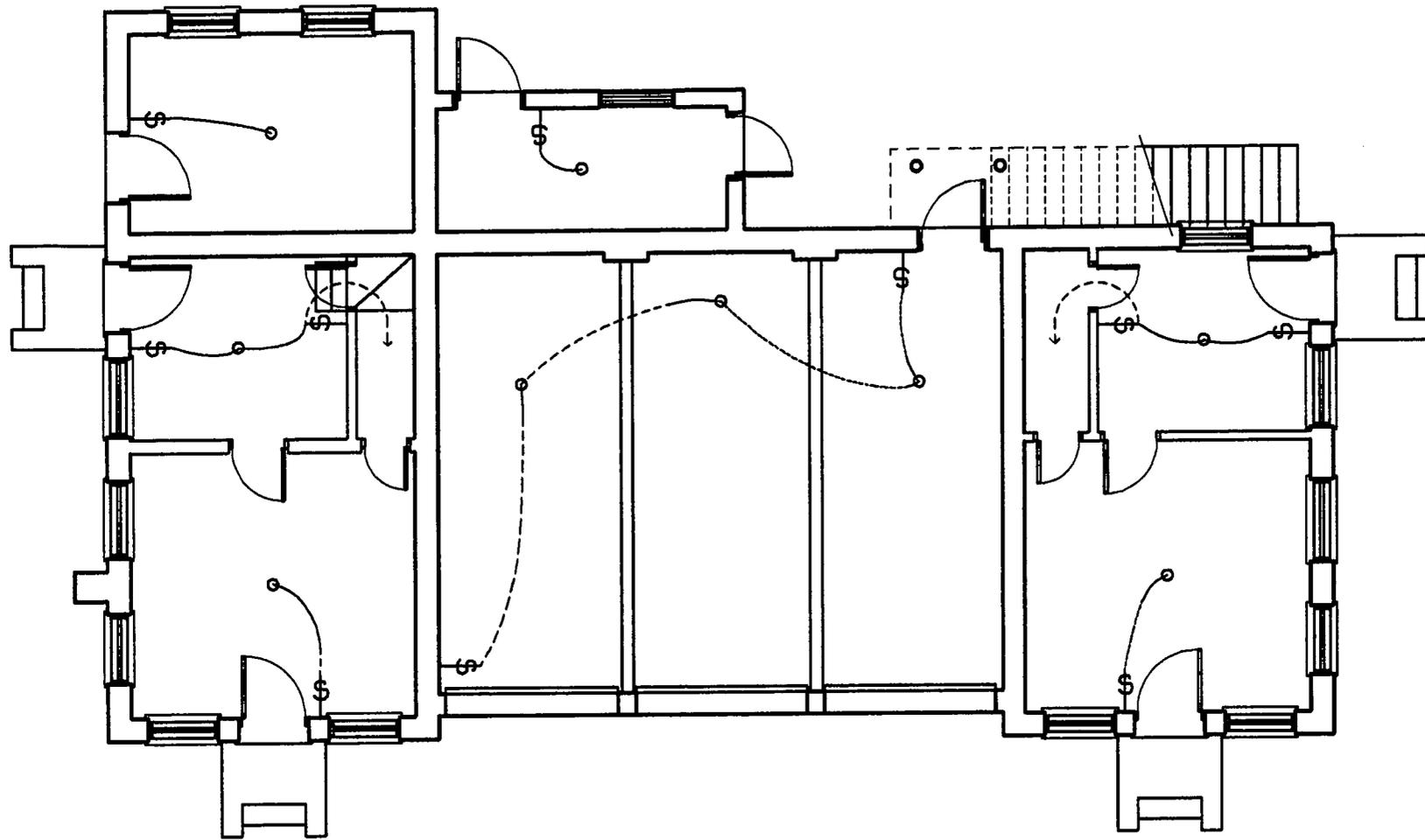
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
FIRST
FLOOR ELECTRIC
POWER PLAN

EXHIBIT 2.6



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

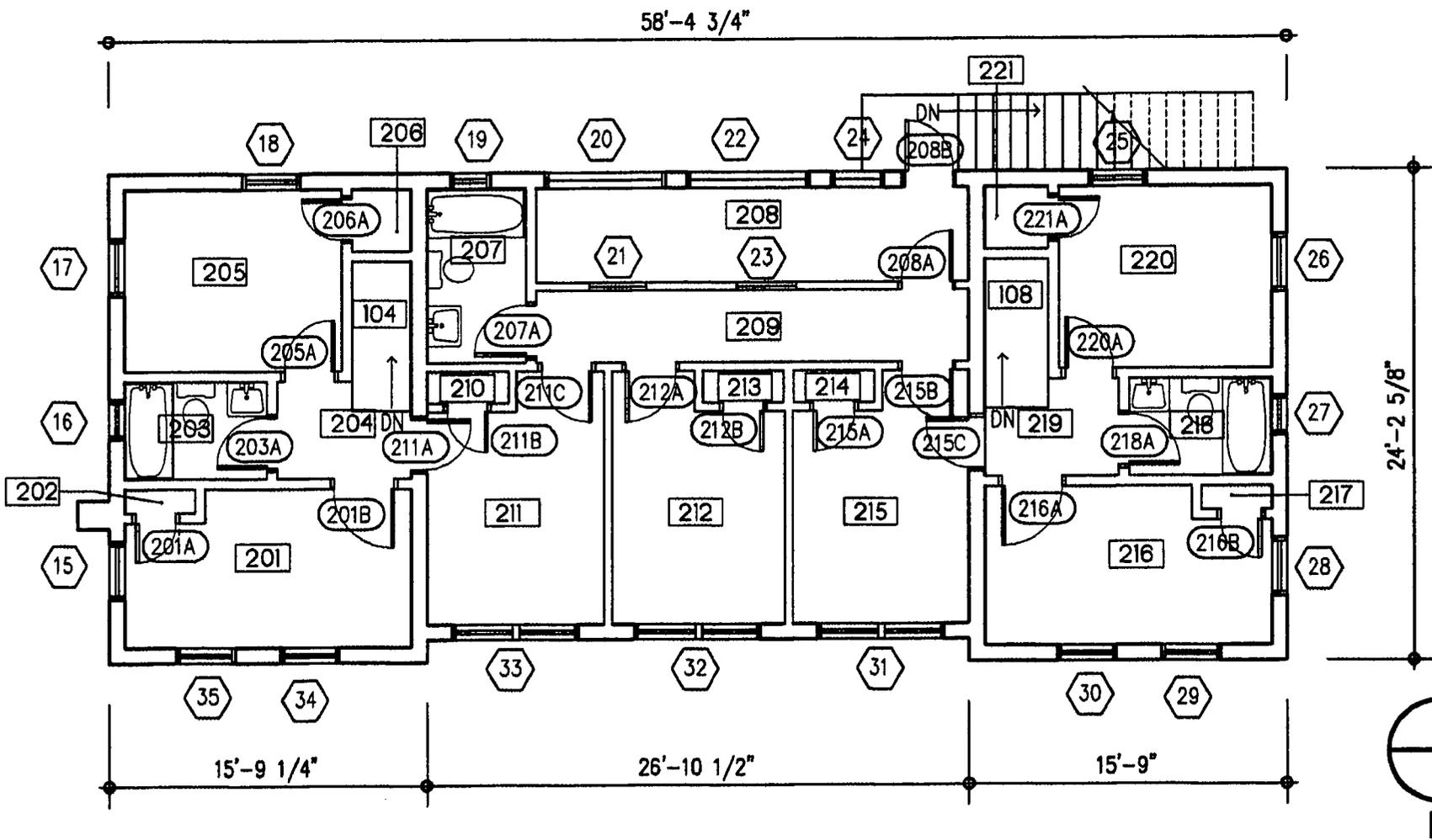
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
FIRST
FLOOR ELECTRIC
LIGHTING PLAN

EXHIBIT 2.7



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

PRESERVATION PLAN

**GARAGE AND
SERVANT'S QUARTERS**

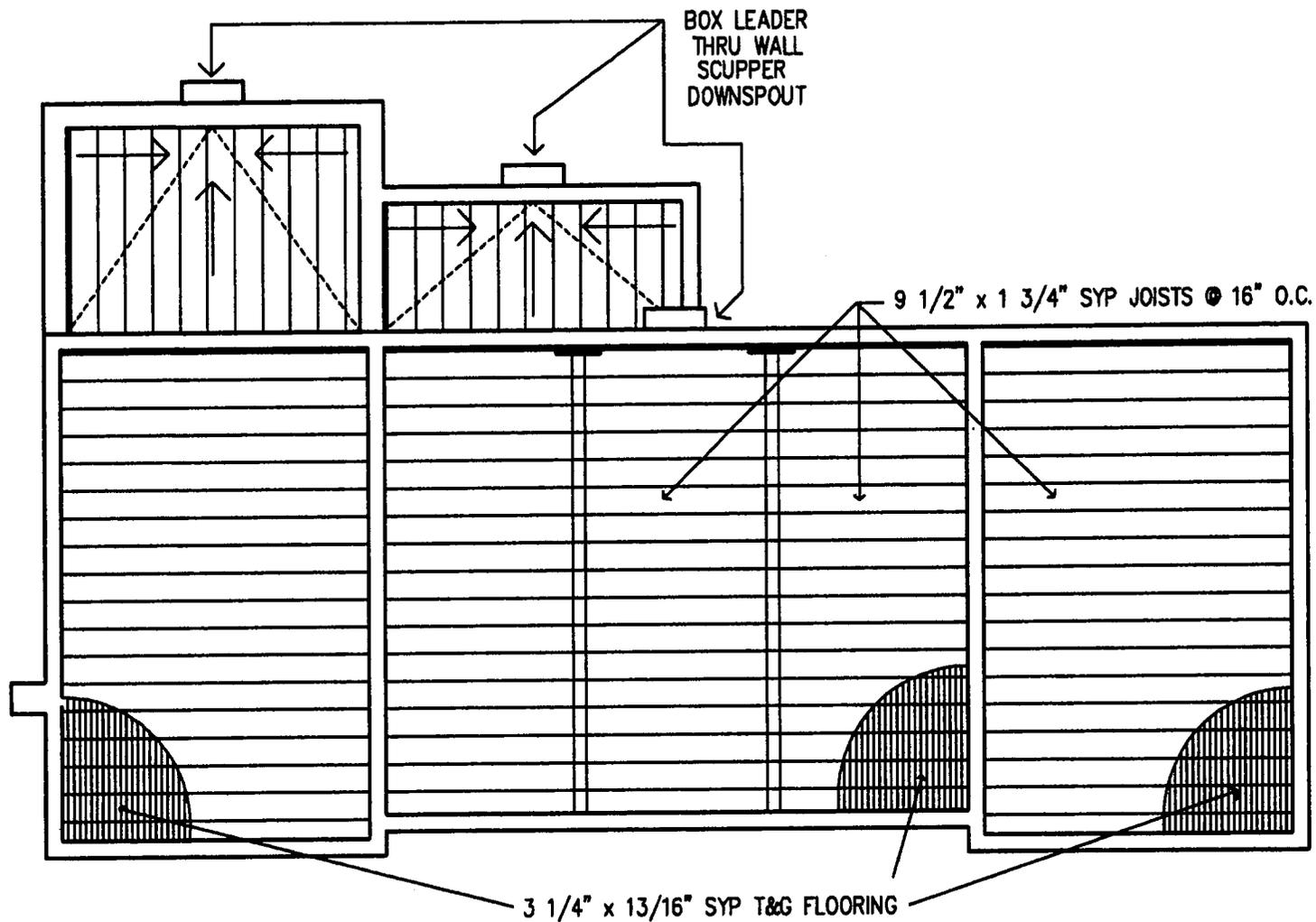
**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR
PLAN

EXHIBIT 3.1



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

PRESERVATION PLAN

**GARAGE AND
SERVANTS' QUARTERS**

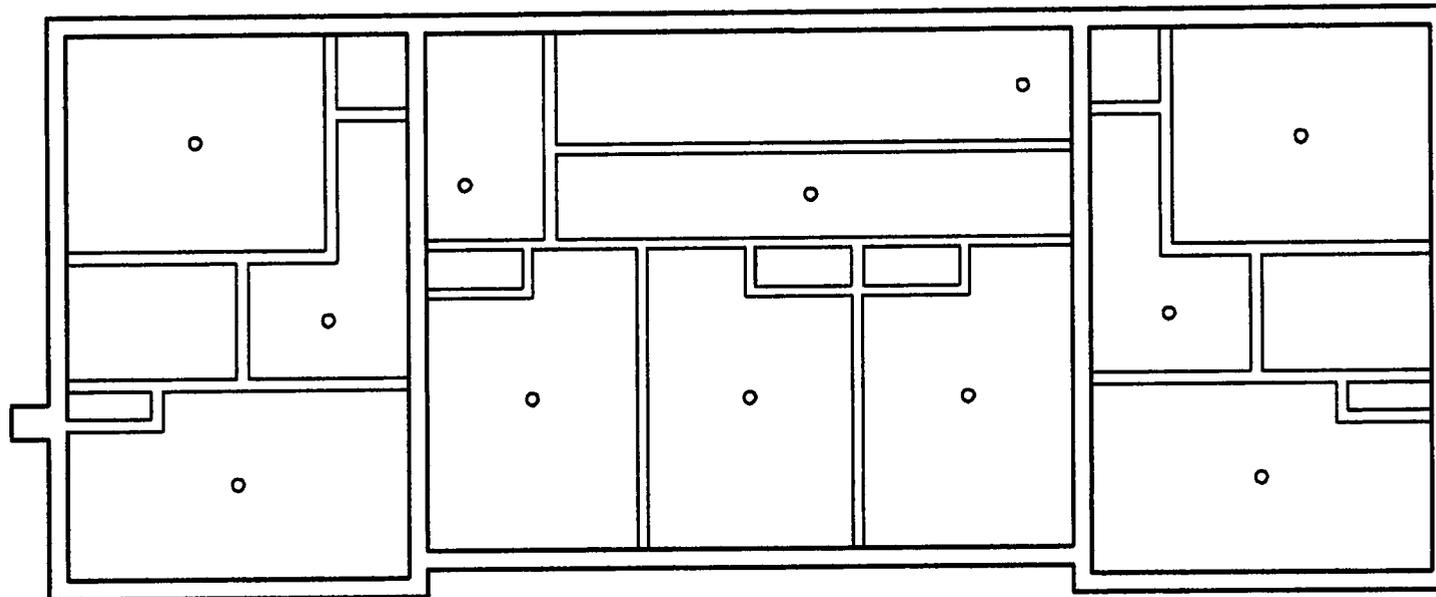
**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR
FRAMING PLAN

EXHIBIT **3.2**



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

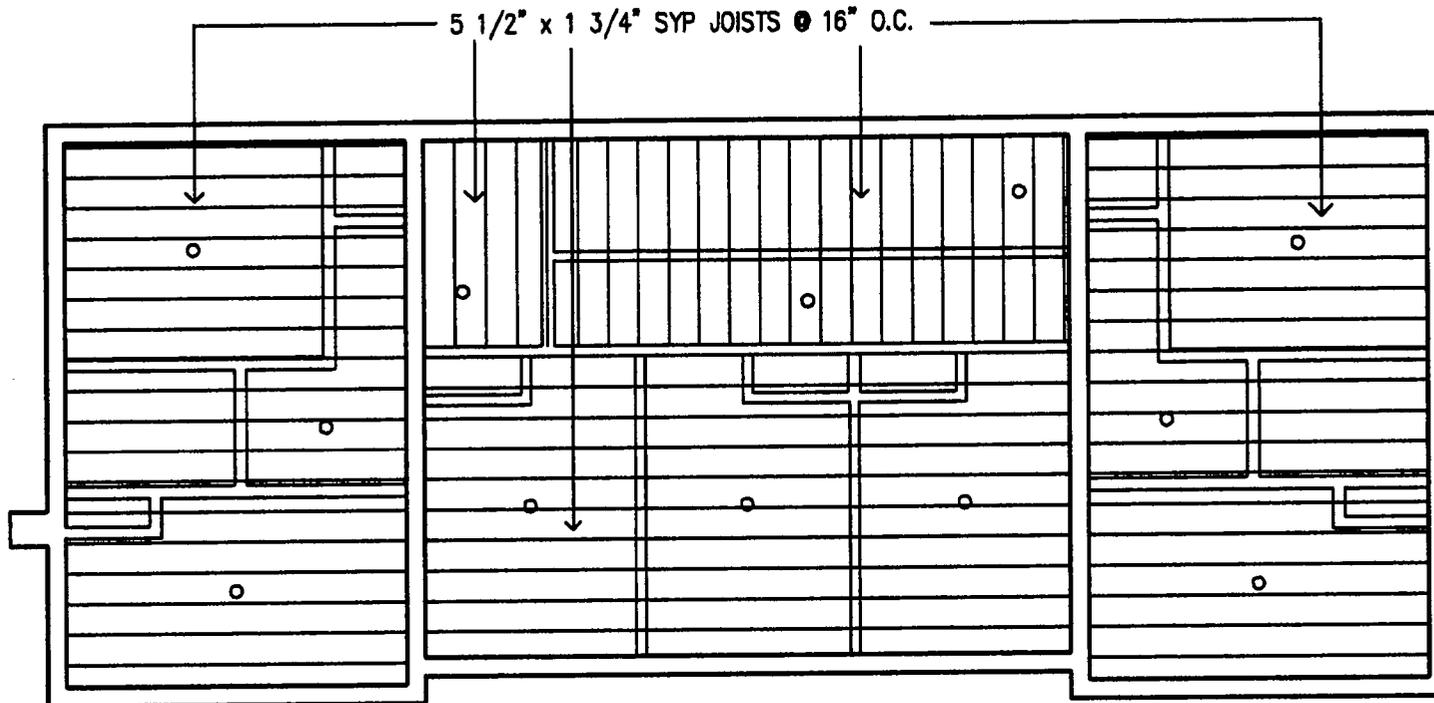
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR REFLECTED
CEILING PLAN

EXHIBIT **3.3**



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

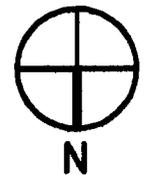
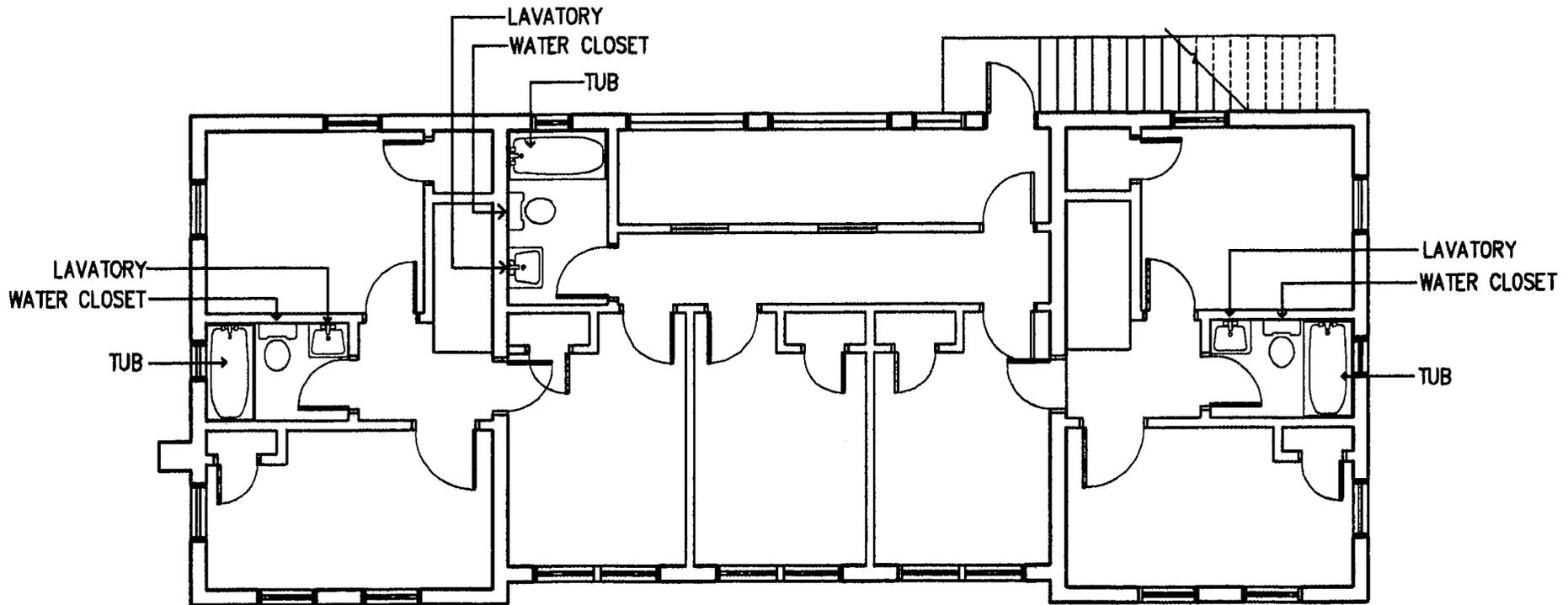
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR CEILING
FRAMING PLAN

EXHIBIT 3.4



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS**

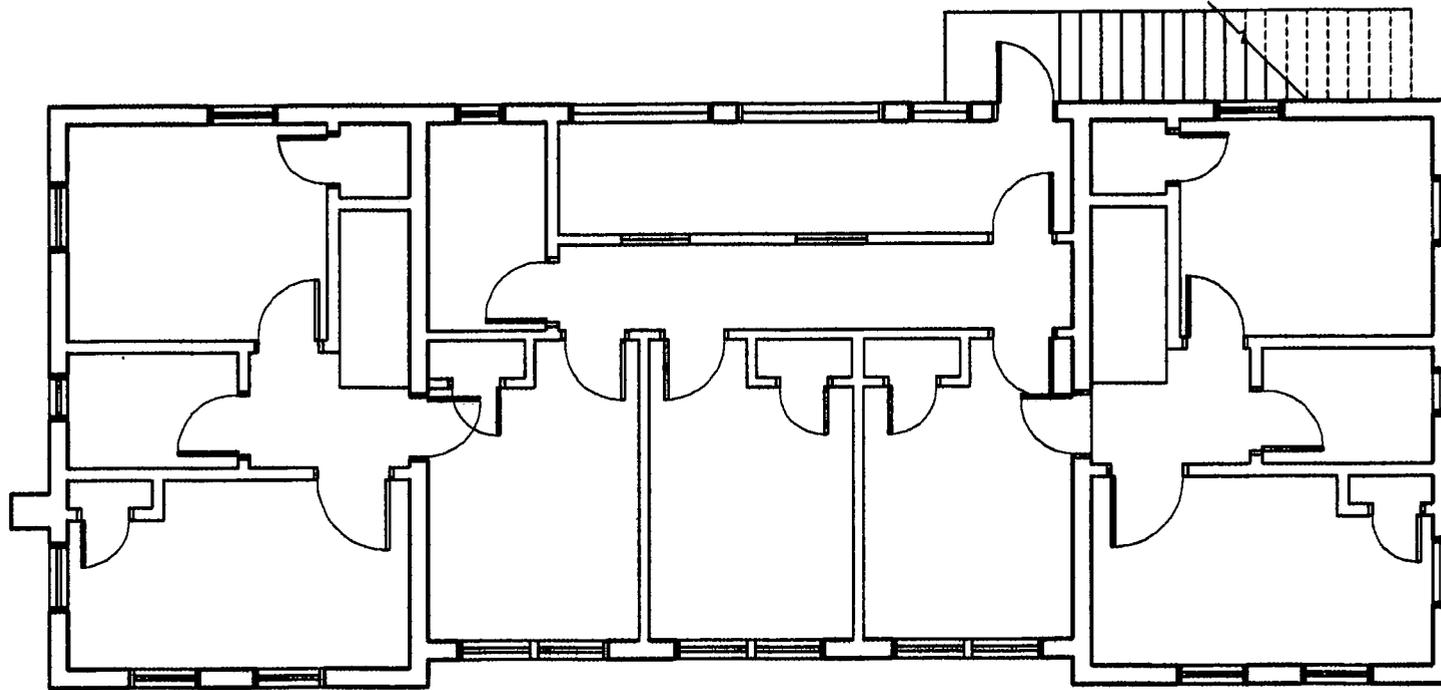
**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

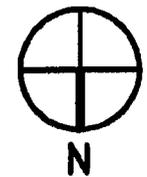
SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR
PLUMBING PLAN

EXHIBIT 3.5



NO EXISTING HVAC SYSTEM



RENKER EICH PARKS ARCHITECTS

1809 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2988

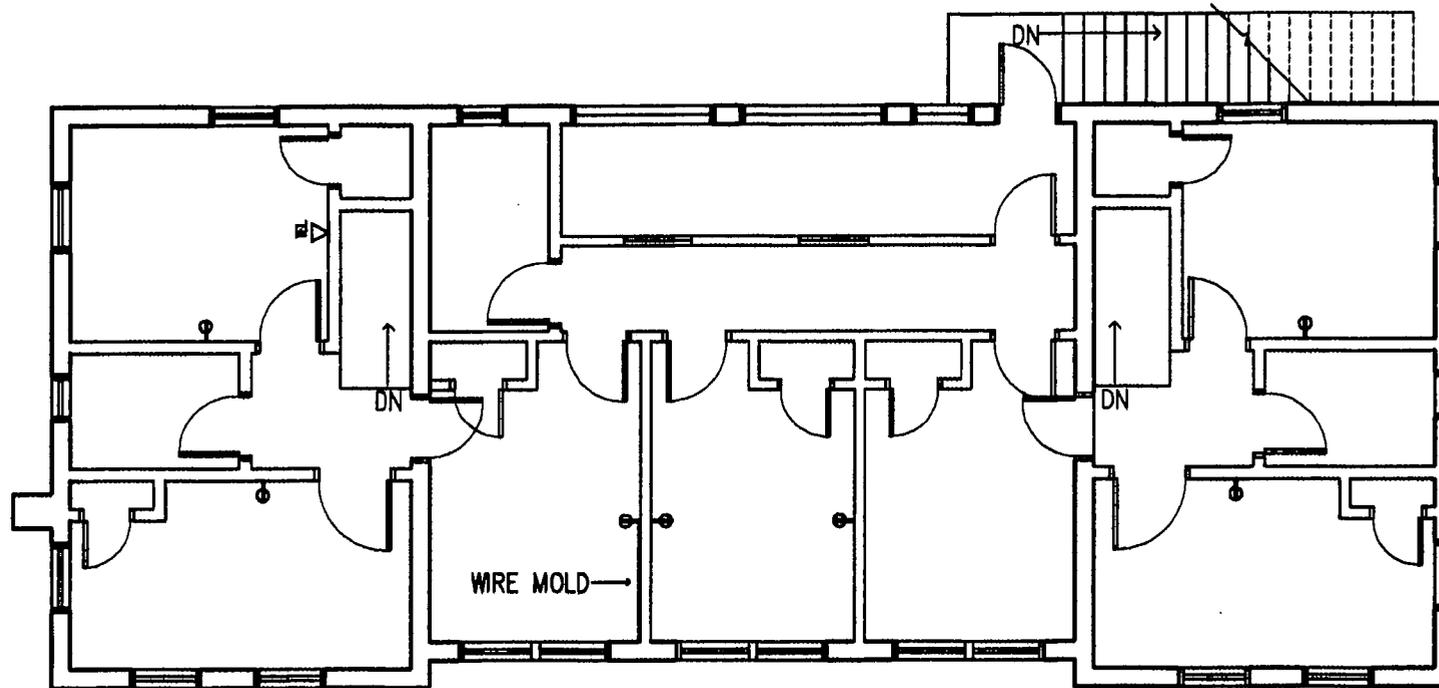
**PRESERVATION PLAN
GARAGE AND
SERVANTS' QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR
HVAC PLAN

EXHIBIT 3.6



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

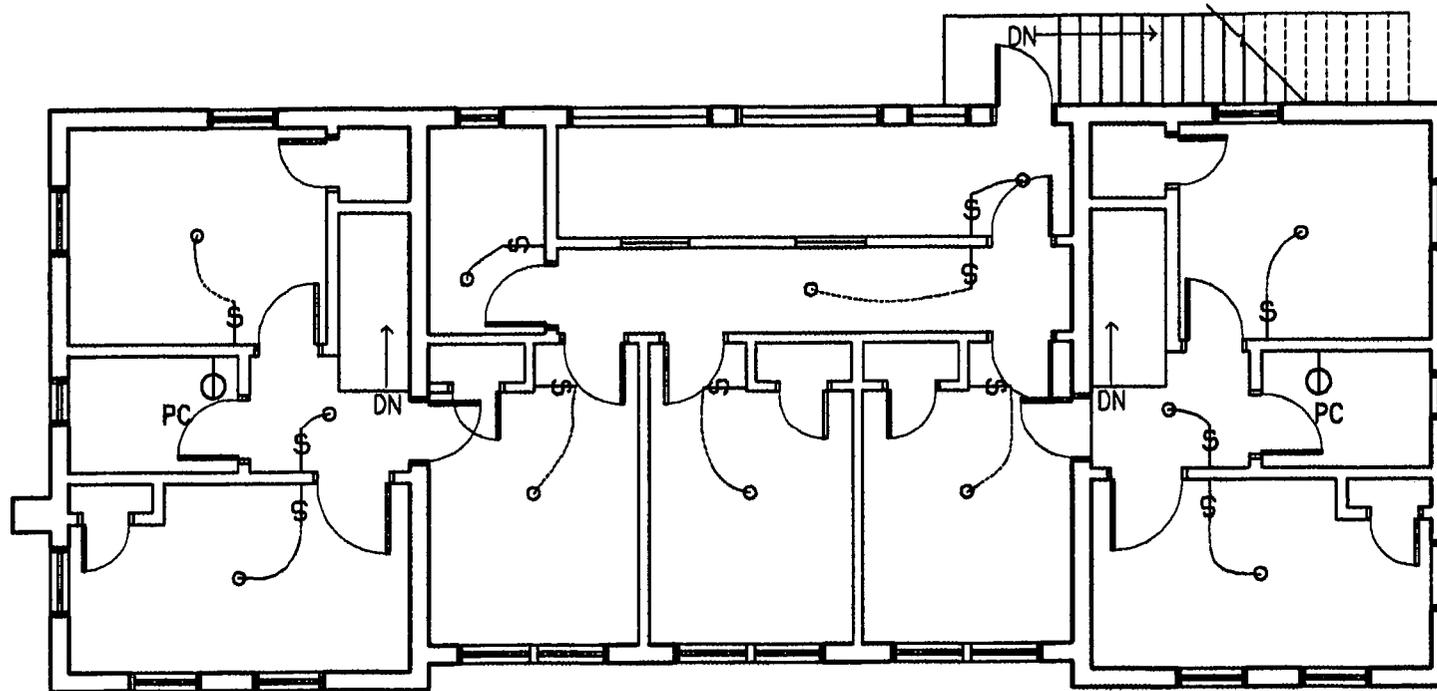
**PRESERVATION PLAN
GARAGE AND
SERVANTS' QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR ELECTRIC
POWER PLAN

EXHIBIT 3.7



RENKER EICH PARKS ARCHITECTS

1809 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2888

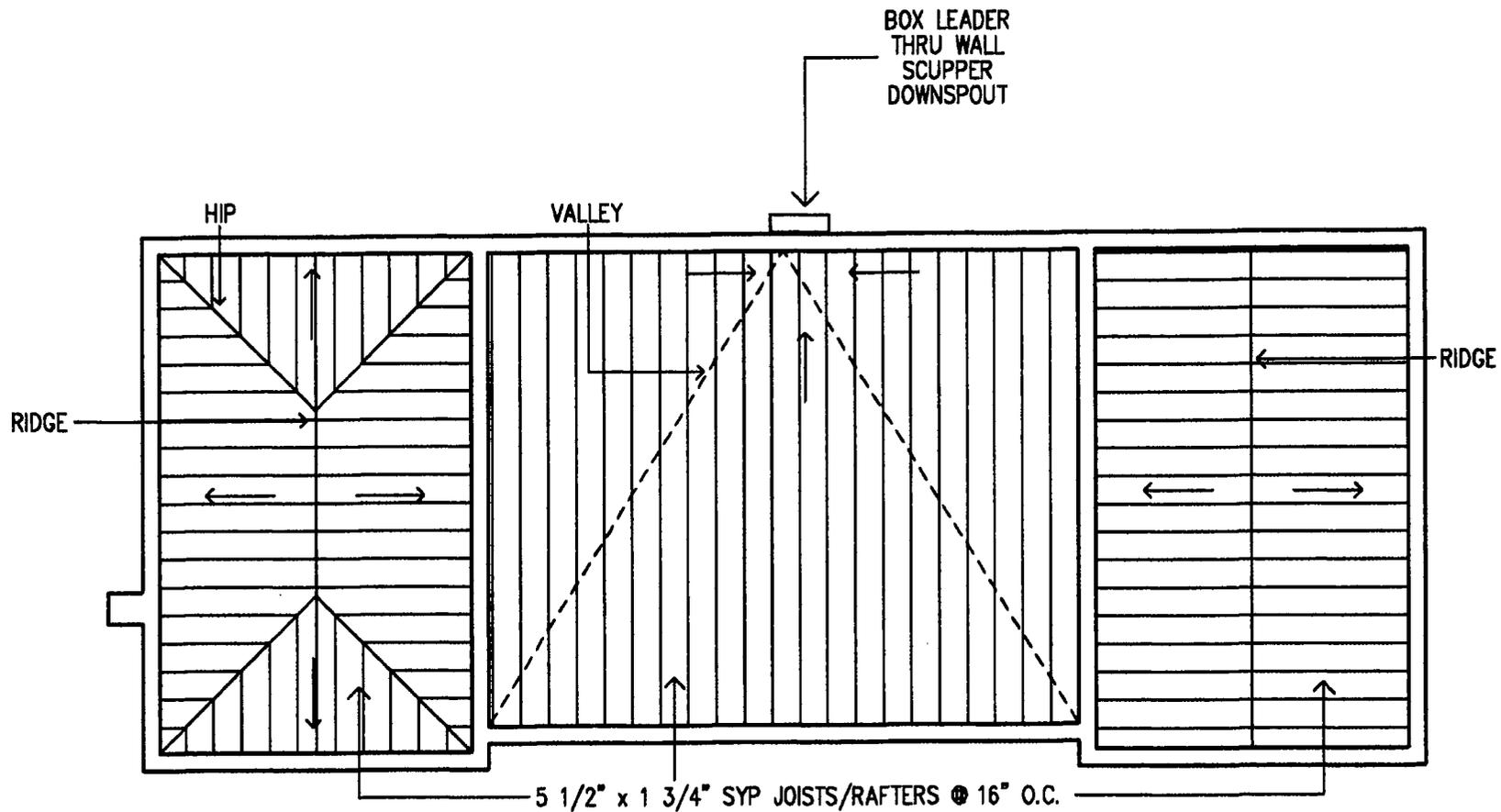
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SECOND
FLOOR ELECTRIC
LIGHTING PLAN

EXHIBIT 3.8



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

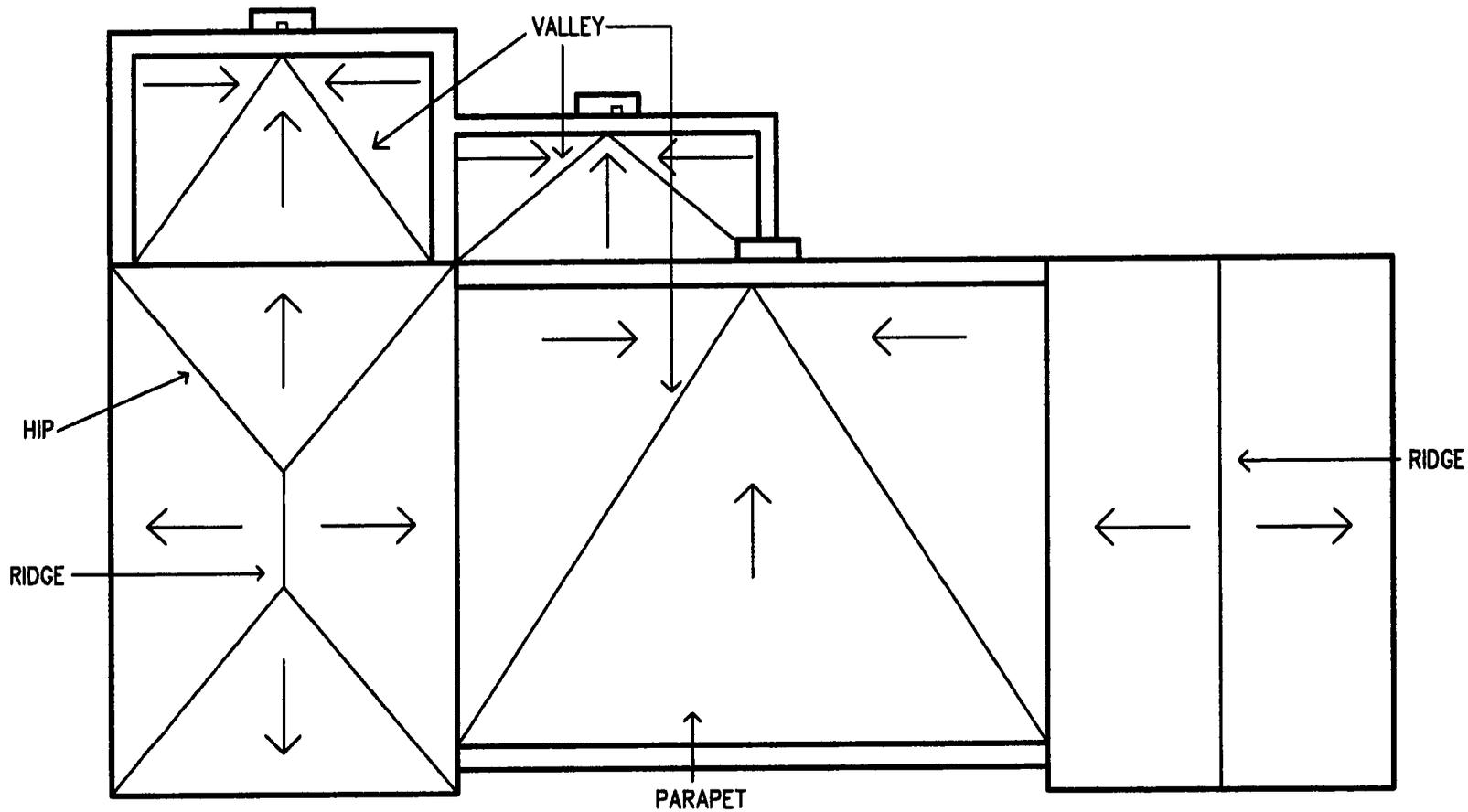
PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA

DATE:
 APRIL 26, 2006

SCALE:
 1/8" = 1'-0"

EXISTING
 SECOND
 FLOOR ROOF
 FRAMING PLAN

EXHIBIT 4.1



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

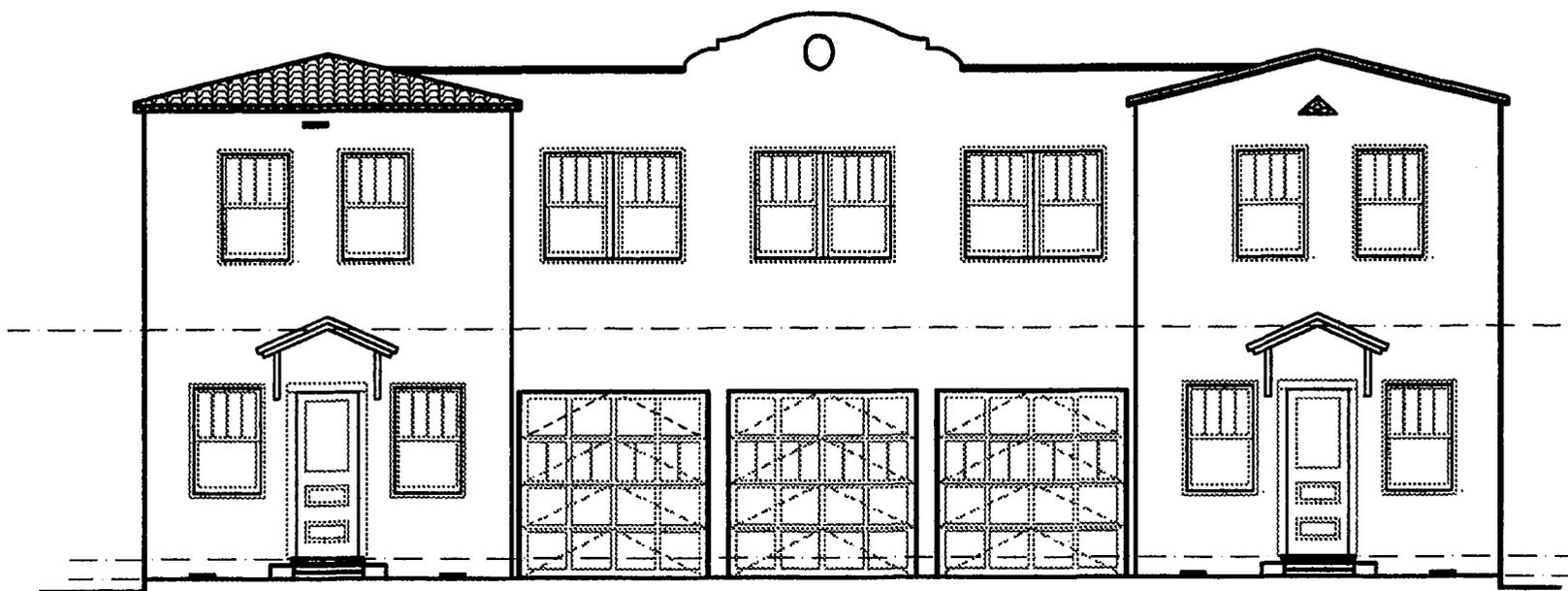
PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
ROOF
PLAN

EXHIBIT 4.2



c

RENKER EICH PARKS ARCHITECTS

1809 DR. M.L. KING JR. STREET NORTH, ST. PETERSBURG, FLORIDA 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
NORTH
BUILDING
ELEVATION

EXHIBIT 5.1



RENKER EICH PARKS ARCHITECTS

1609 DR. M.L. KING JR. STREET NORTH, ST. PETERSBURG, FLORIDA 33704 (727) 821-2986

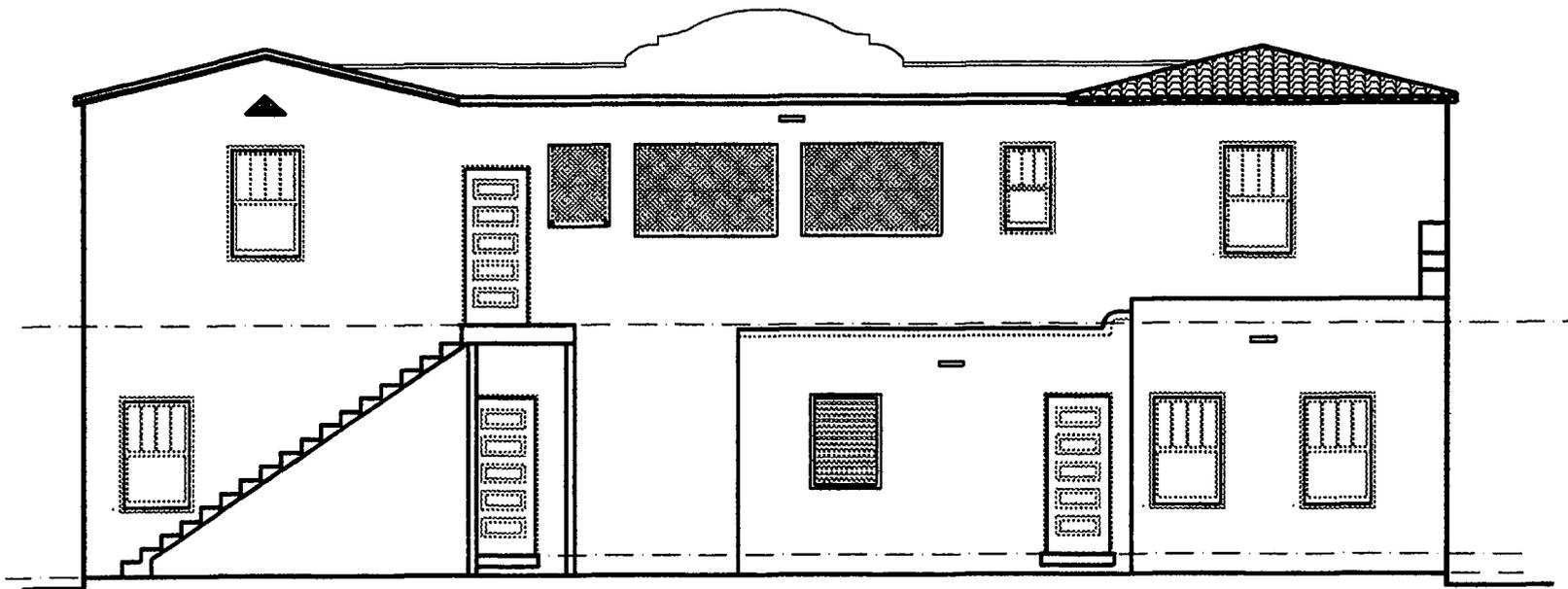
**PRESERVATION PLAN
GARAGE AND
SERVANTS QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
WEST
BUILDING
ELEVATION

EXHIBIT 5.2



RENKER EICH PARKS ARCHITECTS

1609 DR. M.L. KING JR. STREET NORTH, ST. PETERSBURG, FLORIDA 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
SOUTH
BUILDING
ELEVATION

EXHIBIT 5.3



RENKER EICH PARKS ARCHITECTS

1609 DR. M.L. KING JR. STREET NORTH, ST. PETERSBURG, FLORIDA 33704 (727) 821-2986

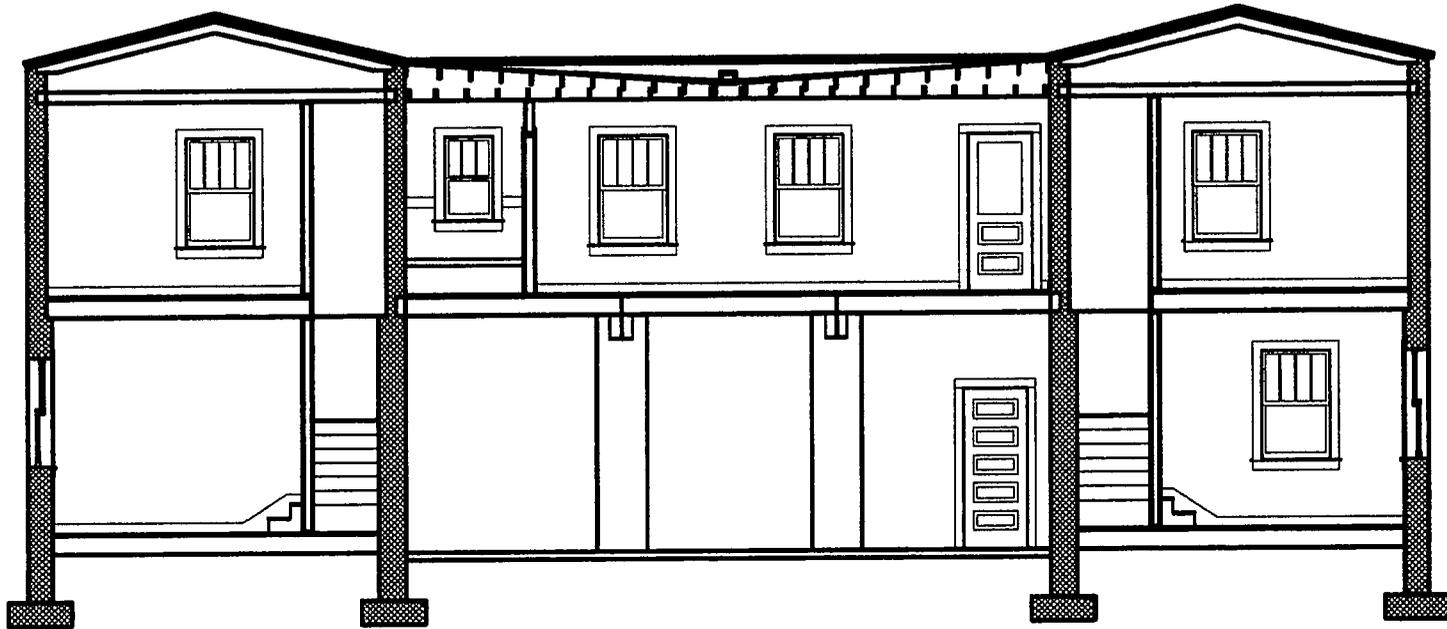
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
EAST
BUILDING
ELEVATION

EXHIBIT 5.4



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANTS' QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

EXISTING
EAST-WEST
BUILDING
SECTION

EXHIBIT 6.1

Photograph 1: NORTH ELEVATION
SHOWING GENERAL CONDITION OF
BUILDING NOTE STAINED STUCCO WALL
FINISH AND DETERIORATED WINDOWS.



Photograph 2: DETAIL OF PARTIAL NORTH ELEVATION SHOWING HOOD
OVER ENTRY DOOR WITH TILE ROOF.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
THE POWEL CROSLY MUSEUM**
SARASOTA, FLORIDA

PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1



Photograph 3: DETAIL OF PARTIAL SOUTH ELEVATION SHOWING TREE GROWING FROM WALL WITH ROOTS EXTENDING TO SIDES AND DOWN.



Photograph 4: DETAIL OF PARTIAL EAST ELEVATION WITH DOOR TO LAUNDRY SHOWING DETERIORATED STUCCO AND METAL LINTEL OVER DOOR.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
THE POWEL CROSLY MUSEUM**
SARASOTA, FLORIDA

PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1



Photograph 5: DETAIL OF ELECTRICAL SERVICE ENTRY ON SOUTH ELEVATION.



Photograph 6: DETAIL OF COLLAPSED ROOF OF LAUNDRY ROOM SHOWING PARAPET ABOVE ROOF, FLASHING DETAILS, ROOF RAFTER LINE AND ADJACENT STUCCO.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
THE POWEL CROSLY MUSEUM**
SARASOTA, FLORIDA

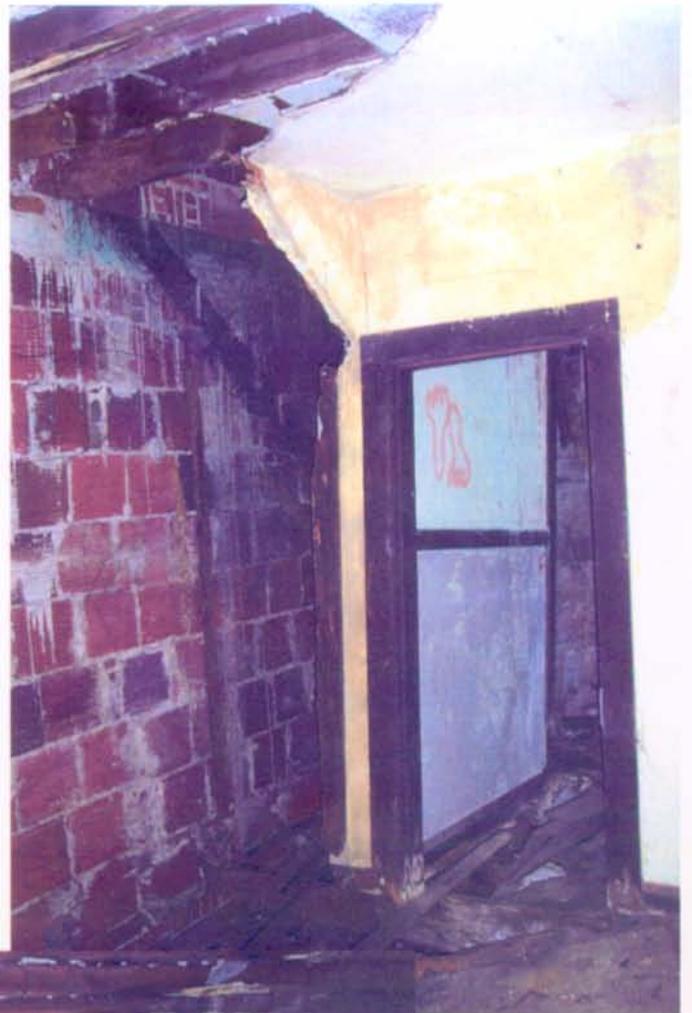
PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1

Photograph 7: DETAIL OF INTERIOR FIRST FLOOR SHOWING DOOR TO KITCHEN, DOOR TO CLOSET UNDER STAIR AND GENERAL DETERIORATED CONDITION.



Photograph 8: INTERIOR ELEVATION OF NORTH WALL OF FIRST FLOOR LIVING ROOM.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
THE POWEL CROSLY MUSEUM**
SARASOTA, FLORIDA

PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

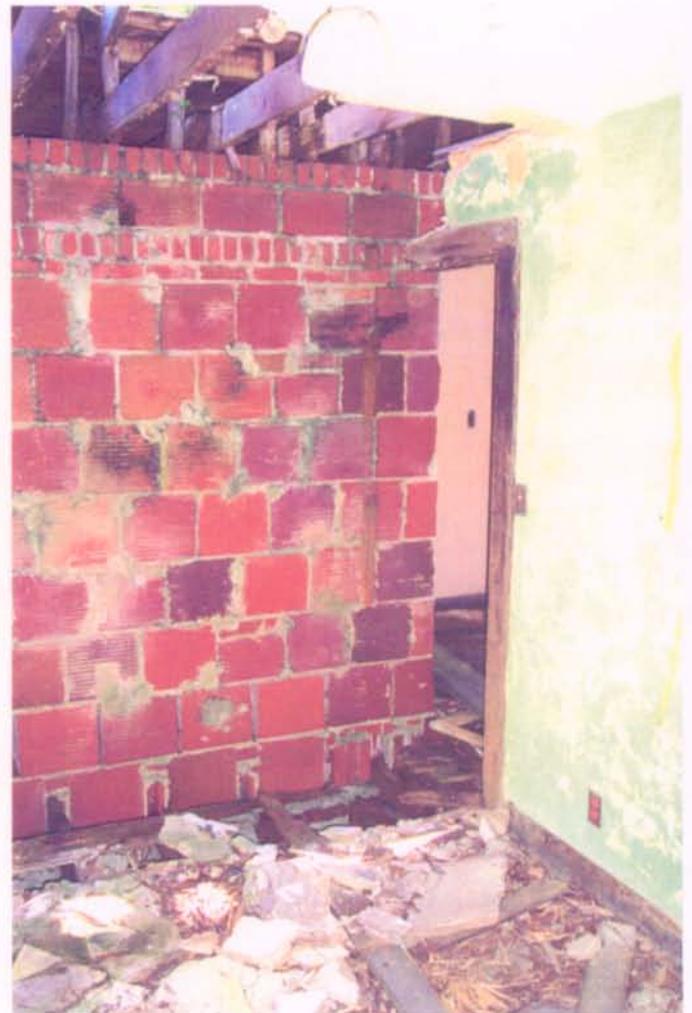
April 26, 2006

Exhibit

7.1



Photograph 9: INTERIOR ELEVATION OF SOUTH WALL OF GARAGE SHOWING ELECTRICAL PANELS AND BEAM IN CEILING.



Photograph 10: INTERIOR ELEVATION OF SECOND FLOOR INTERIOR MASONRY WALL

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
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SARASOTA, FLORIDA

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BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1



Photograph 11: INTERIOR ELEVATION OF DOOR AND CLOSET ON SECOND FLOOR SHOWING DETERIORATED CONDITION.



Photograph 12: VIEW FROM SECOND FLOOR LOOKING DOWN INTO STAIR WELL WITH MISSING STAIR.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
THE POWEL CROSLY MUSEUM**
SARASOTA, FLORIDA

PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1

Photograph 13: INTERIOR DETAIL OF ELECTRICAL ROOM SHOWING ELECTRICAL PANELS IN DETERIORATED CONDITION.



Photograph 14: DETAIL OF ORIGINAL SINK AND BASE CABINET IN WEST UNIT KITCHEN.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
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SARASOTA, FLORIDA

PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1

Photograph 15: DETAIL OF SECOND FLOOR ACCESS DOOR TO BATHROOM PLUMBING.



Photograph 16: DETAIL OF SCREEN DOOR SHOWING EVIDENCE OF DOOR HANDLE.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
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SARASOTA, FLORIDA

PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1



Photograph 17: DETAIL OF SELF CLOSING SCREEN DOOR HINGE.



Photograph 18: DETAIL OF BATHROOM SHOWING FIXTURES AND GENERAL DETERIORATION.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
THE POWEL CROSLY MUSEUM**
SARASOTA, FLORIDA

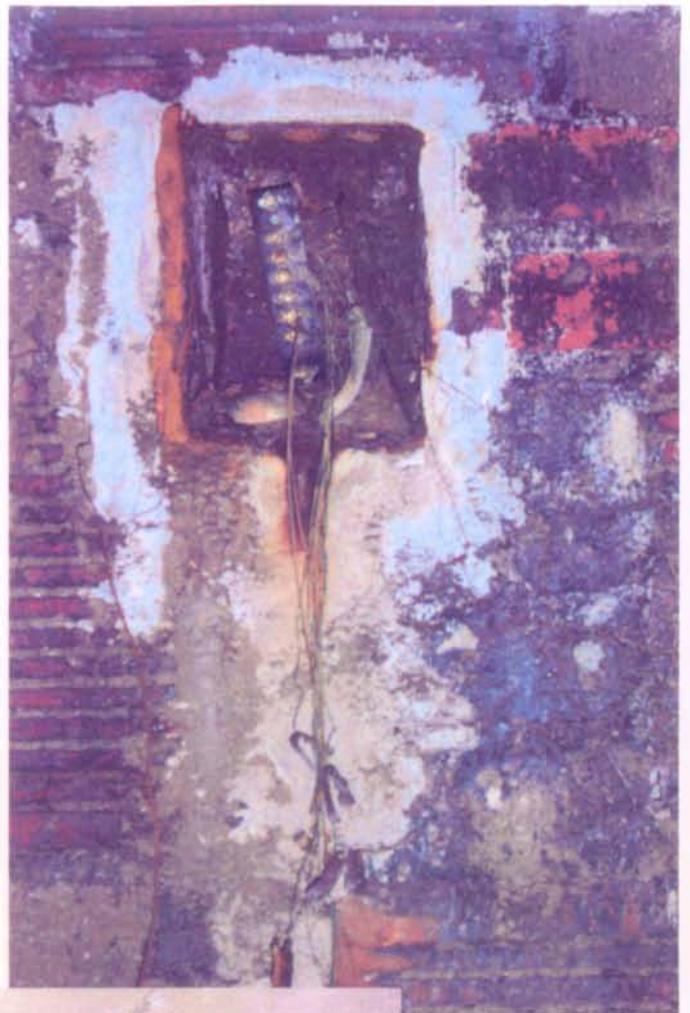
PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1

Photograph 19: INTERCOM CALL BOX ON WEST WALL FO EAST UNIT LIVING ROOM.



Photograph 20: DETAIL OF TYPICAL ORIGINAL ROOM LIGHT FIXTURE.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

**PRESERVATION PLAN
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SARASOTA, FLORIDA

PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1



Photograph 21: DETAIL OF TYPICAL ORIGINAL GARAGE LIGHT FIXTURE.

**GARAGE AND
SERVANT'S QUARTERS**



**RENKER-EICH-PARKS
ARCHITECTS**
ARCHITECTURE / HISTORIC RESTORATION

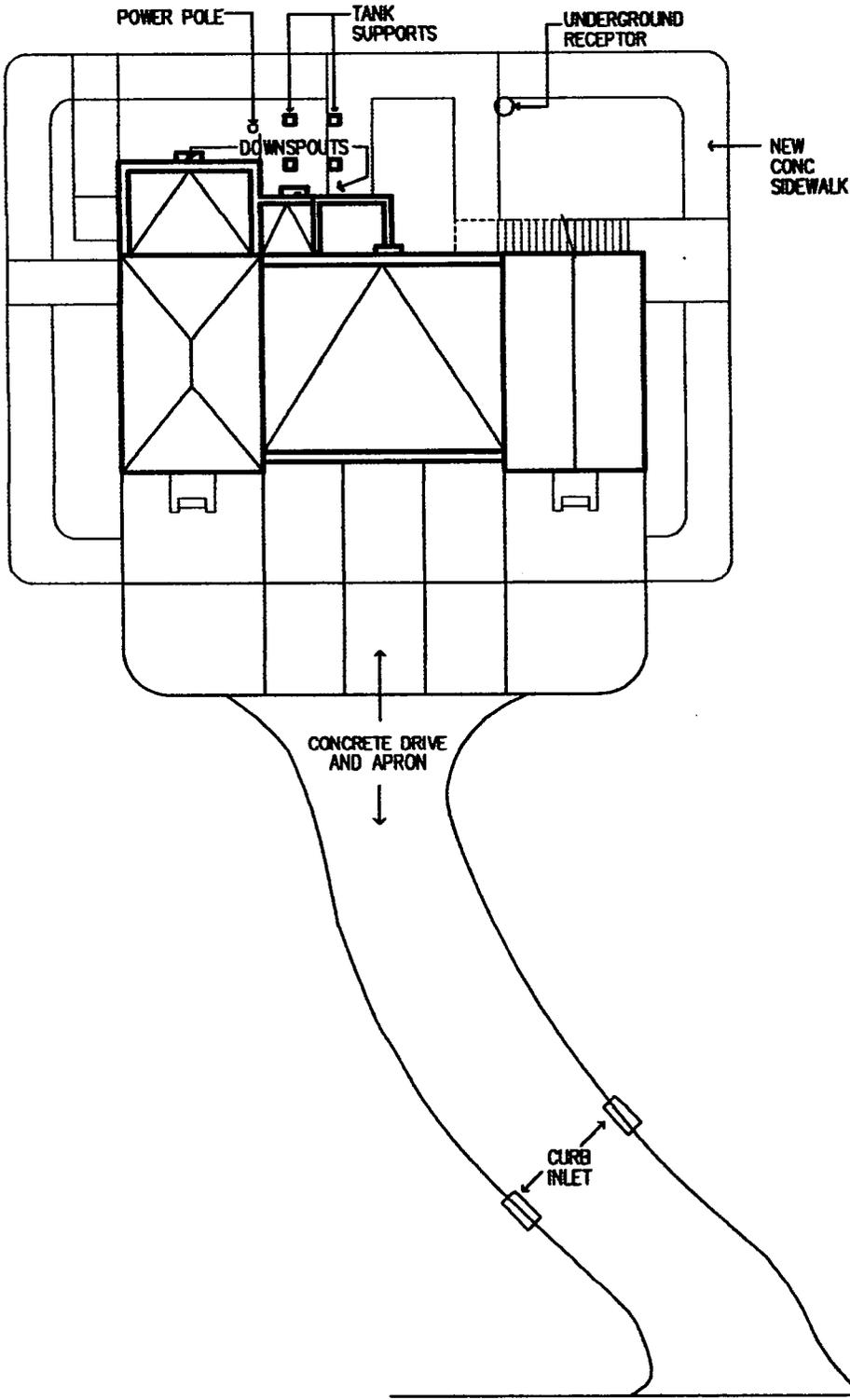
**PRESERVATION PLAN
THE POWEL CROSLY MUSEUM**
SARASOTA, FLORIDA

PREPARED FOR:
MANATEE COUNTY GOVERNMENT
BRADENTON, FLORIDA

April 26, 2006

Exhibit

7.1



PRESERVATION PLAN
GARAGE AND
SERVANTS QUARTERS
THE POWEL CROSEY MUSEUM
SARASOTA, FLORIDA

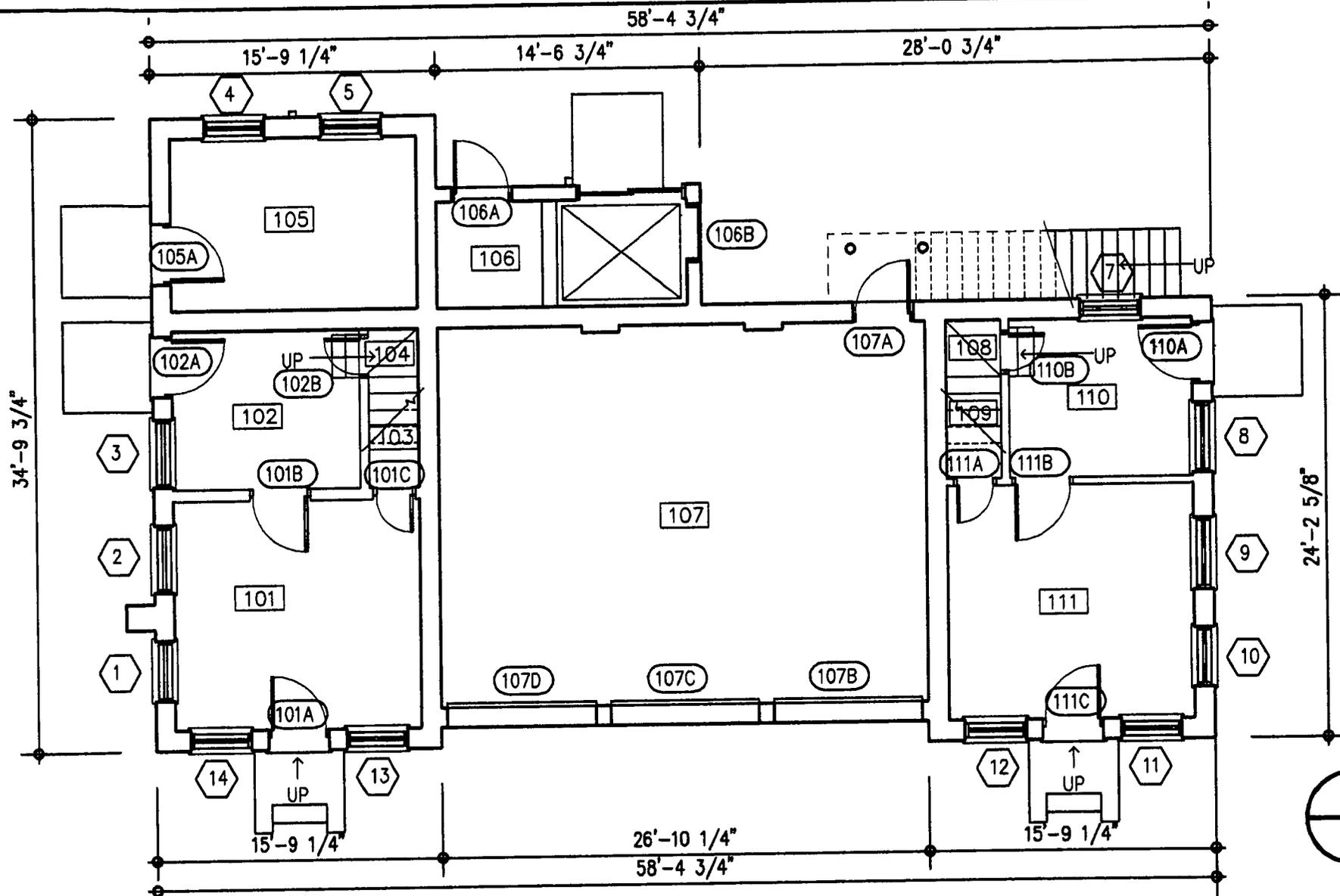
DATE: APRIL 26, 2006

RESTORED SITE PLAN

SCALE: 1" = 20'-0"

EXHIBIT 8.1

RENKER EICH PARKS ARCHITECTS
 1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2988

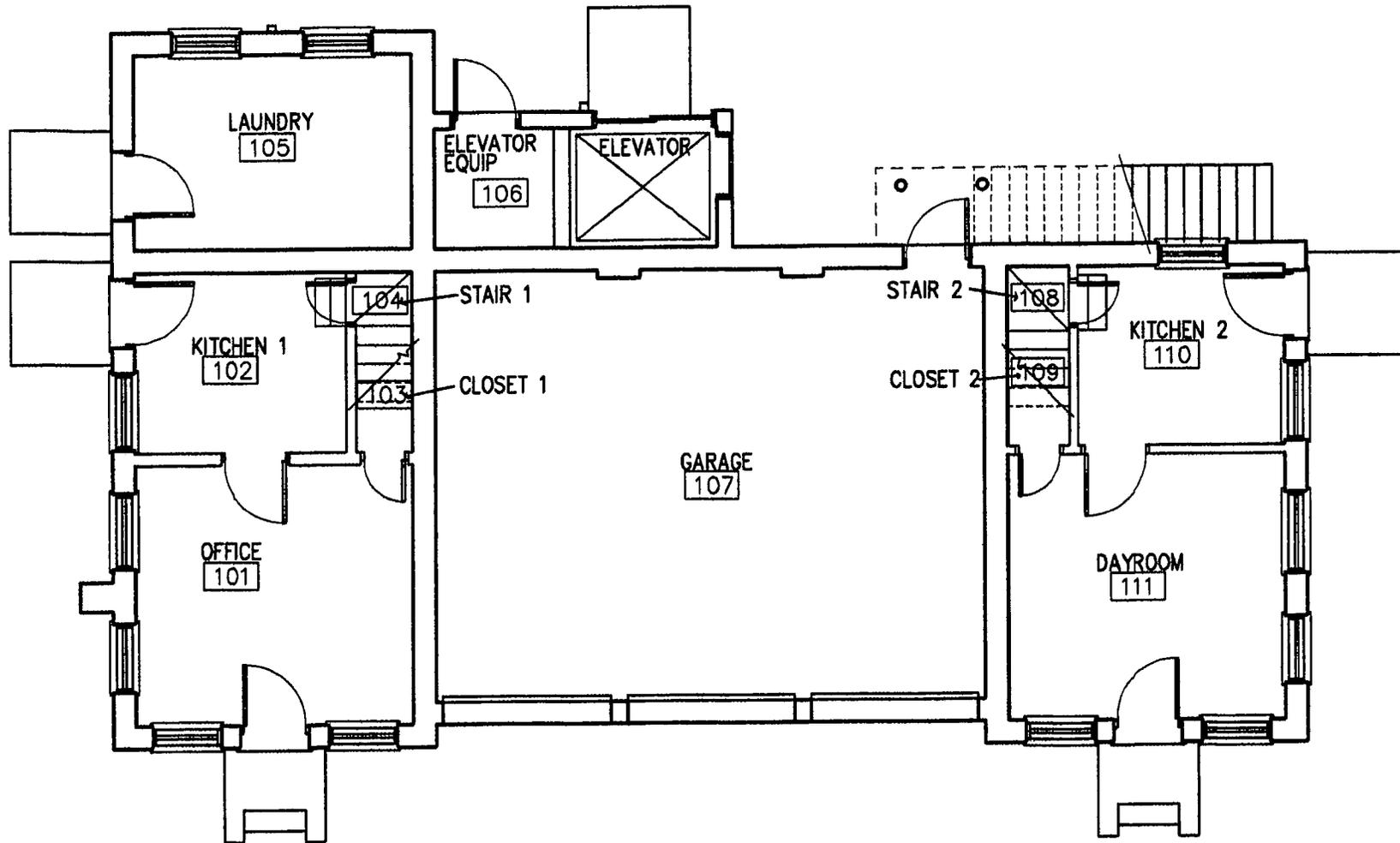
**PRESERVATION PLAN
GARAGE AND
SERVANTS' QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
FIRST
FLOOR
PLAN

EXHIBIT 9.1



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

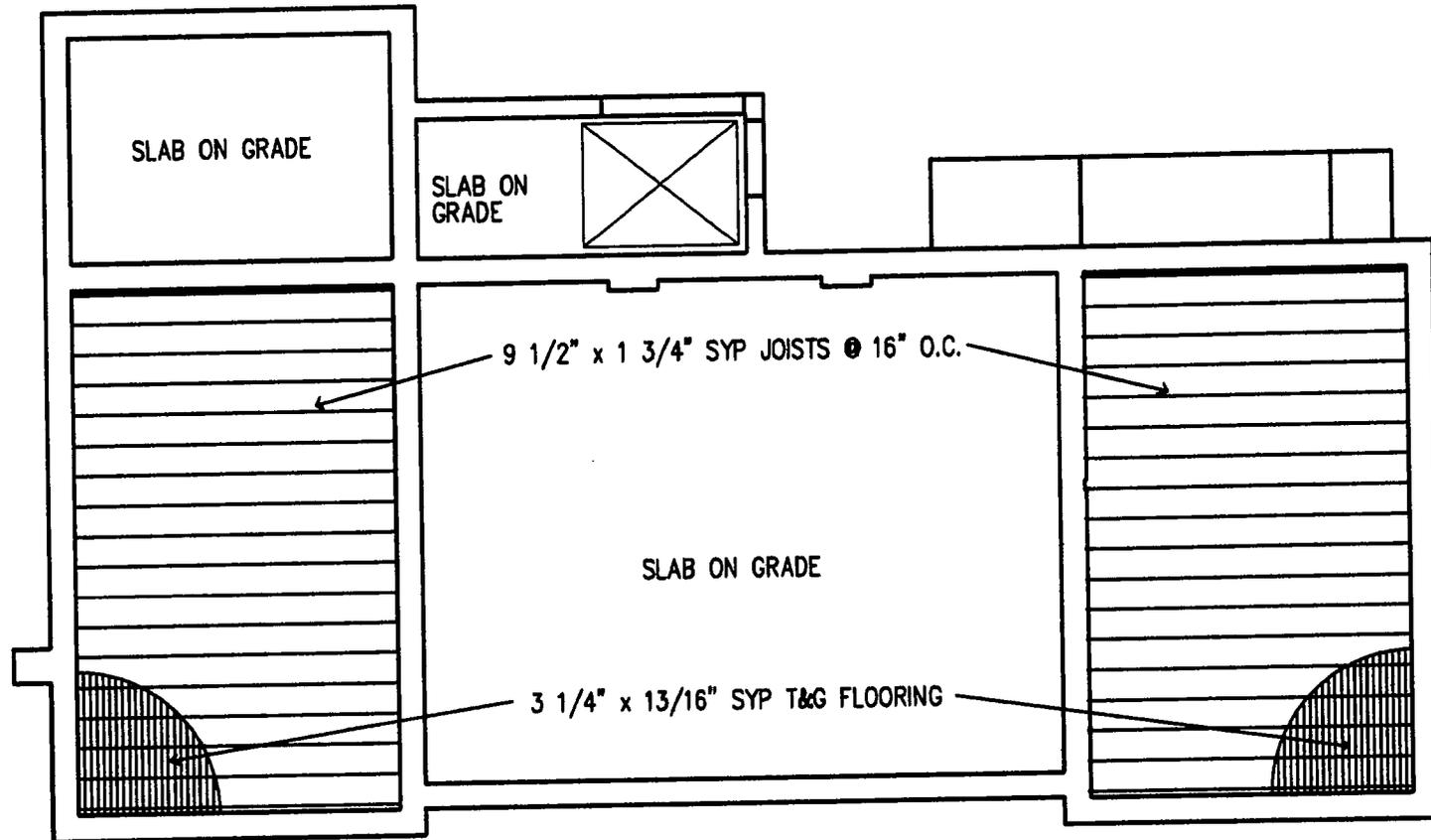
PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
FIRST FLOOR
ROOM NAME
PLAN

EXHIBIT 9.1A



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

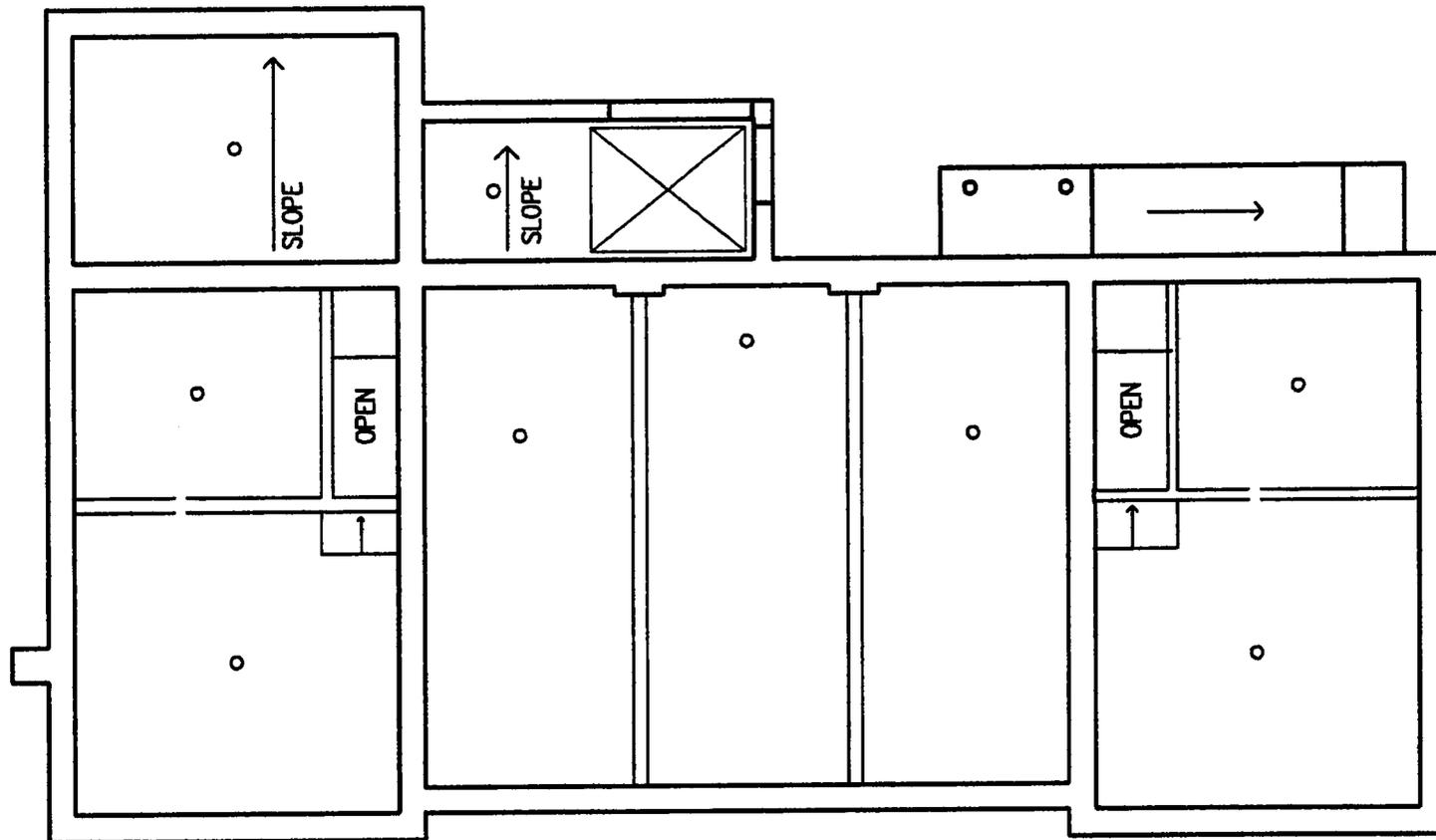
**PRESERVATION PLAN
GARAGE AND
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THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
FIRST
FLOOR
FRAMING PLAN

EXHIBIT 9.2



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

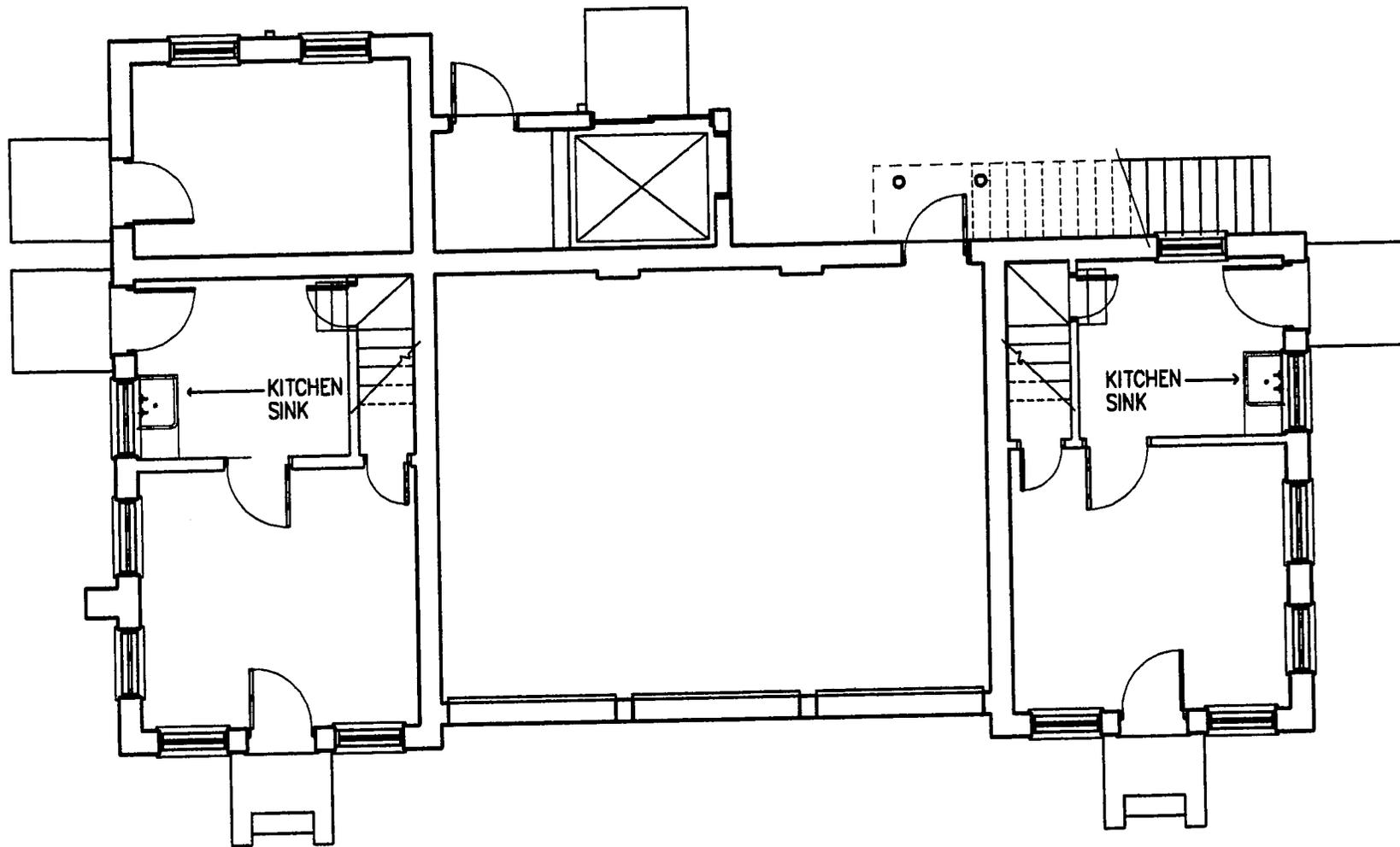
**PRESERVATION PLAN
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SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
FIRST
FLOOR REFLECTED
CEILING PLAN

EXHIBIT 9.3



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

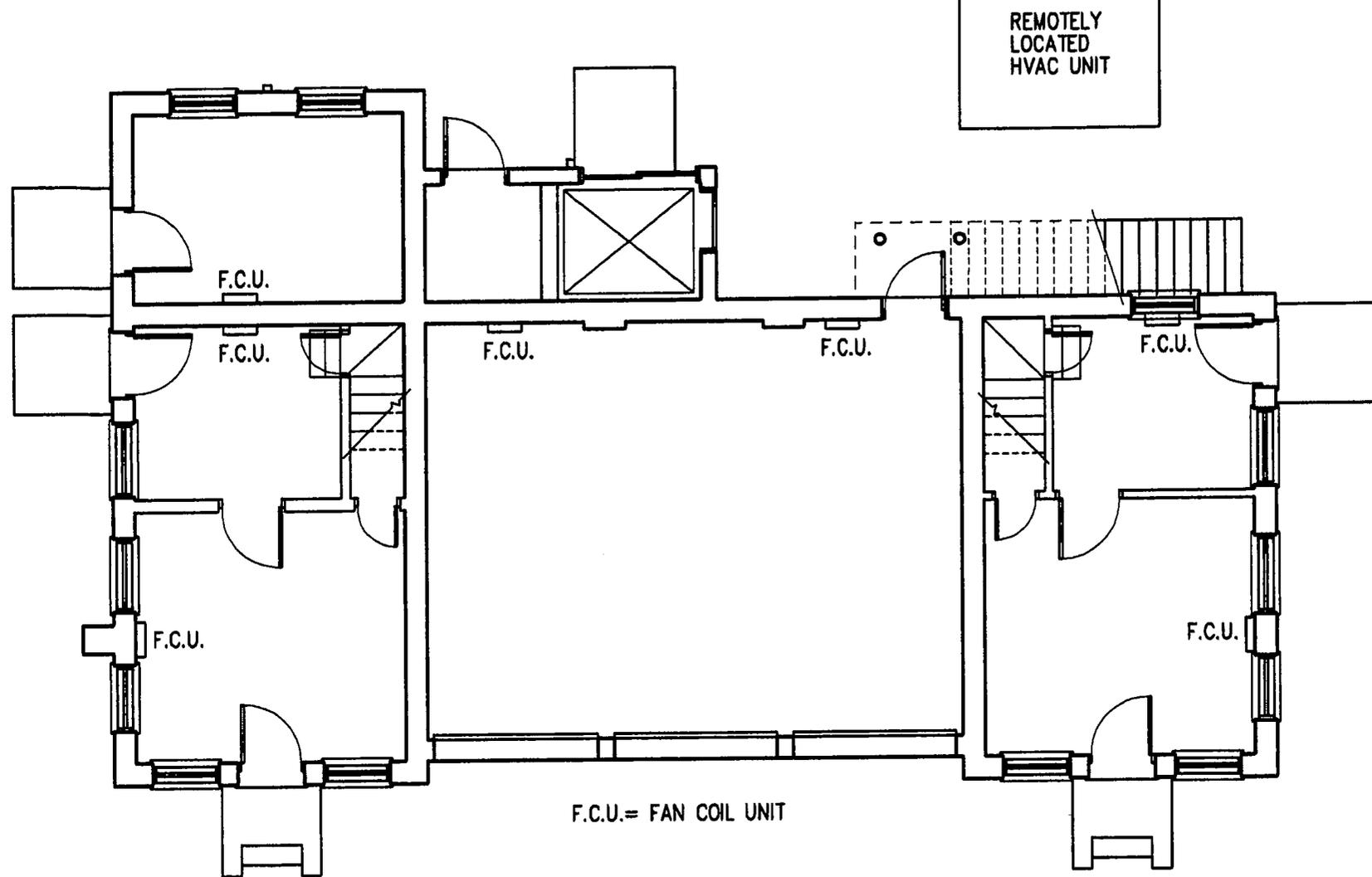
**PRESERVATION PLAN
GARAGE AND
SERVANTS' QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
FIRST
FLOOR
PLUMBING PLAN

EXHIBIT 9.4



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

PRESERVATION PLAN

**GARAGE AND
SERVANT'S QUARTERS**

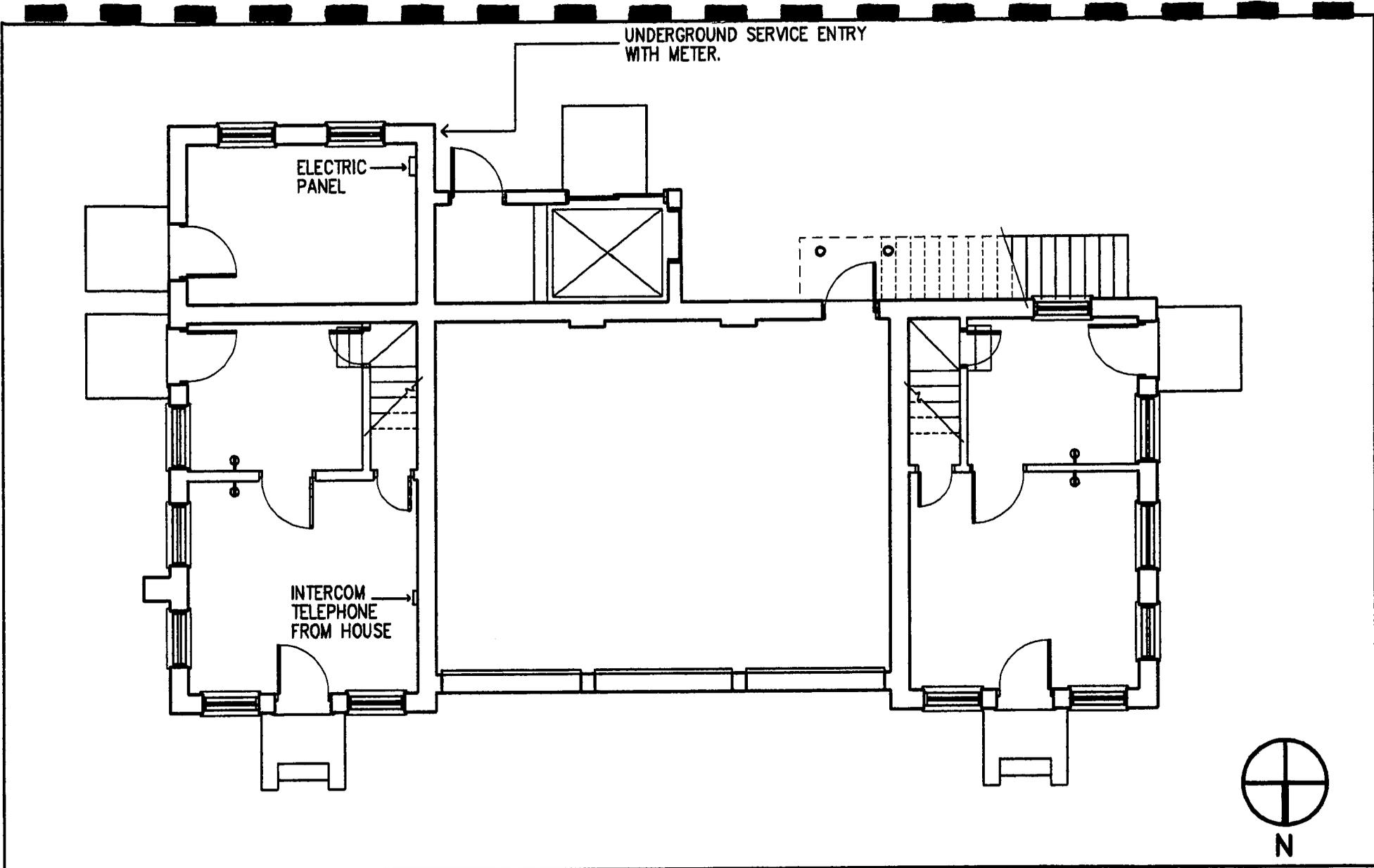
**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
FIRST
FLOOR
HVAC PLAN

EXHIBIT 9.5



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS**

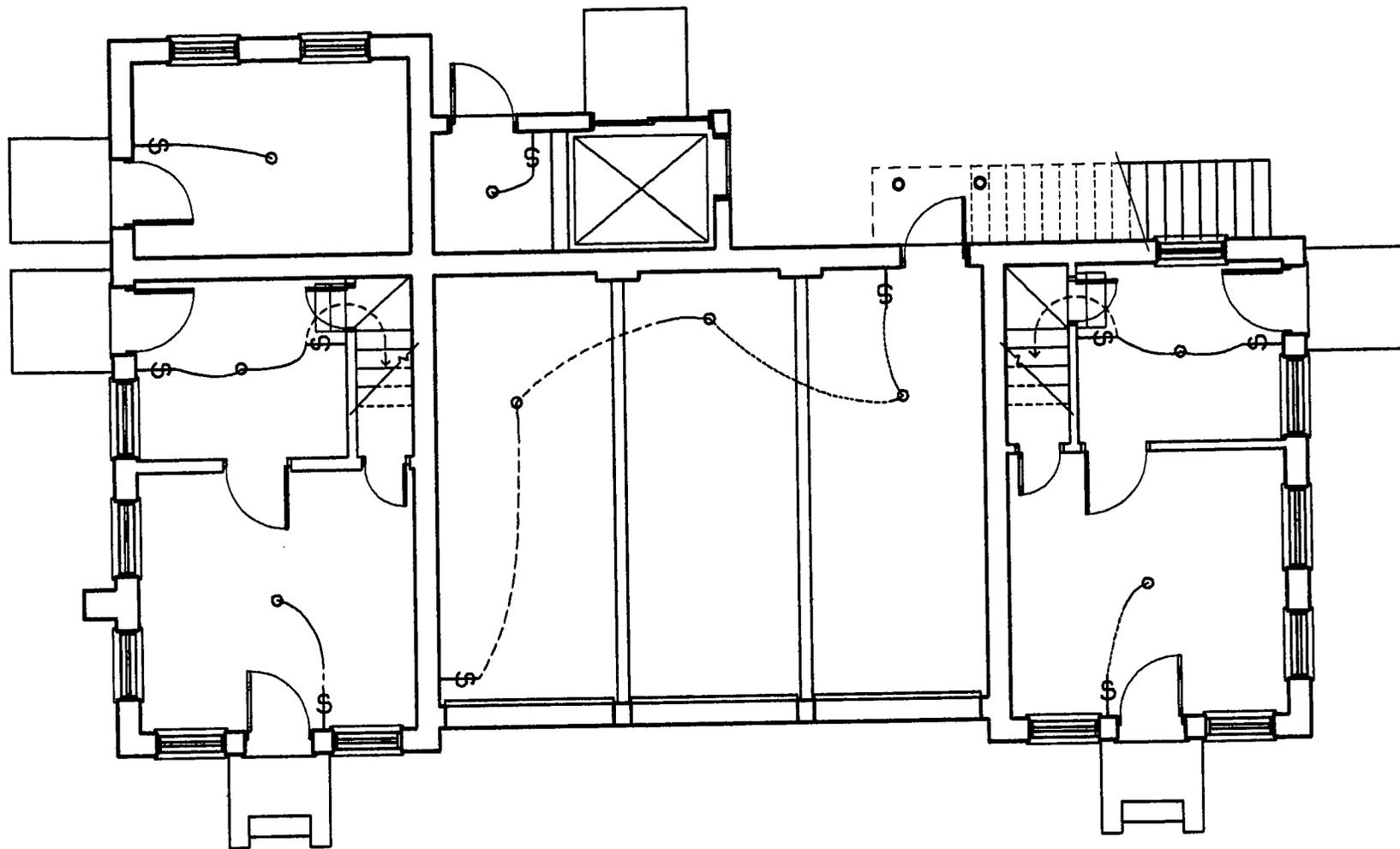
**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
FIRST
FLOOR ELECTRIC
POWER PLAN

EXHIBIT 9.6



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

PRESERVATION PLAN

**GARAGE AND
SERVANT'S QUARTERS**

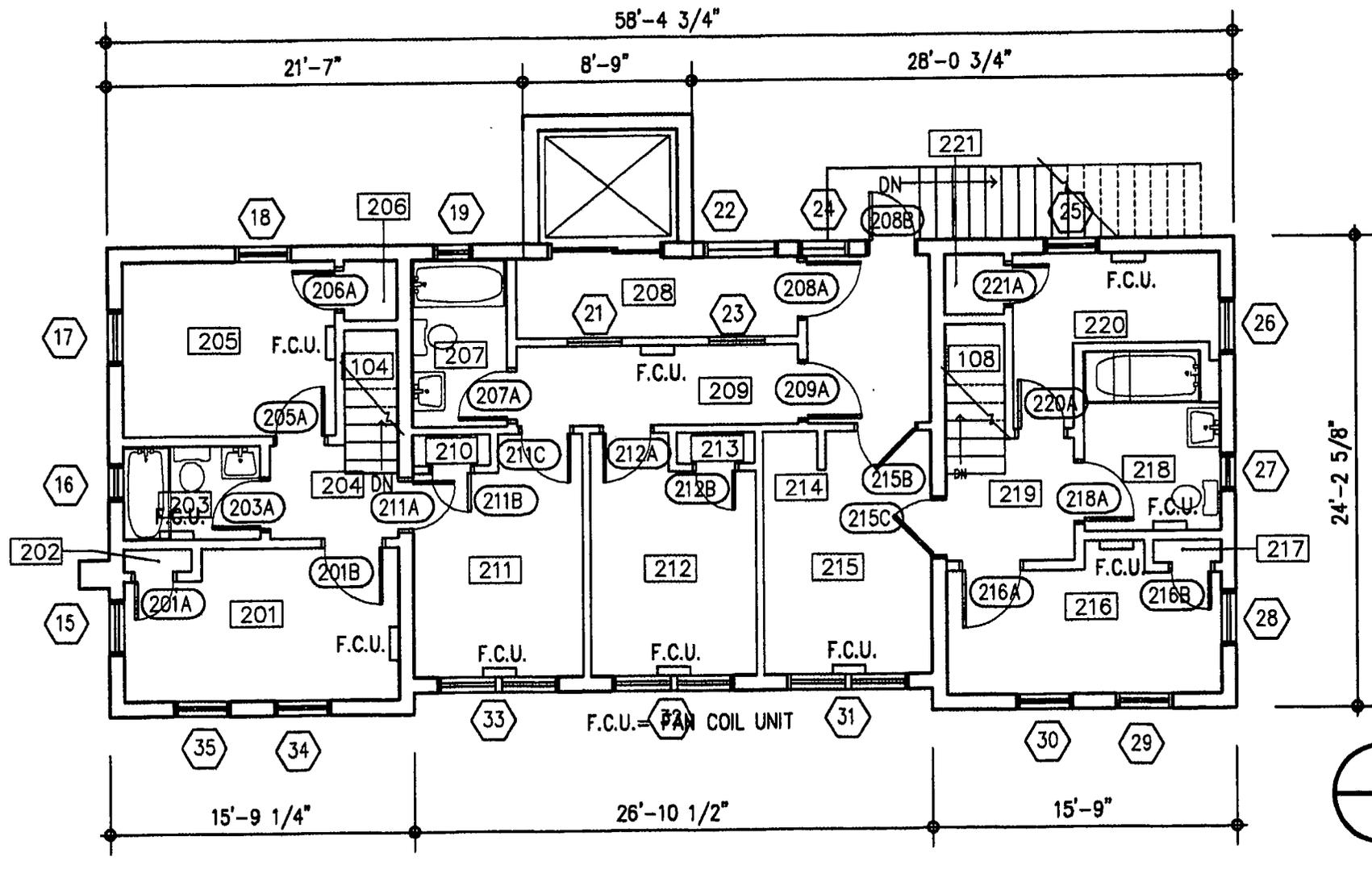
**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
FIRST
FLOOR ELECTRIC
LIGHTING PLAN

EXHIBIT 9.7



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

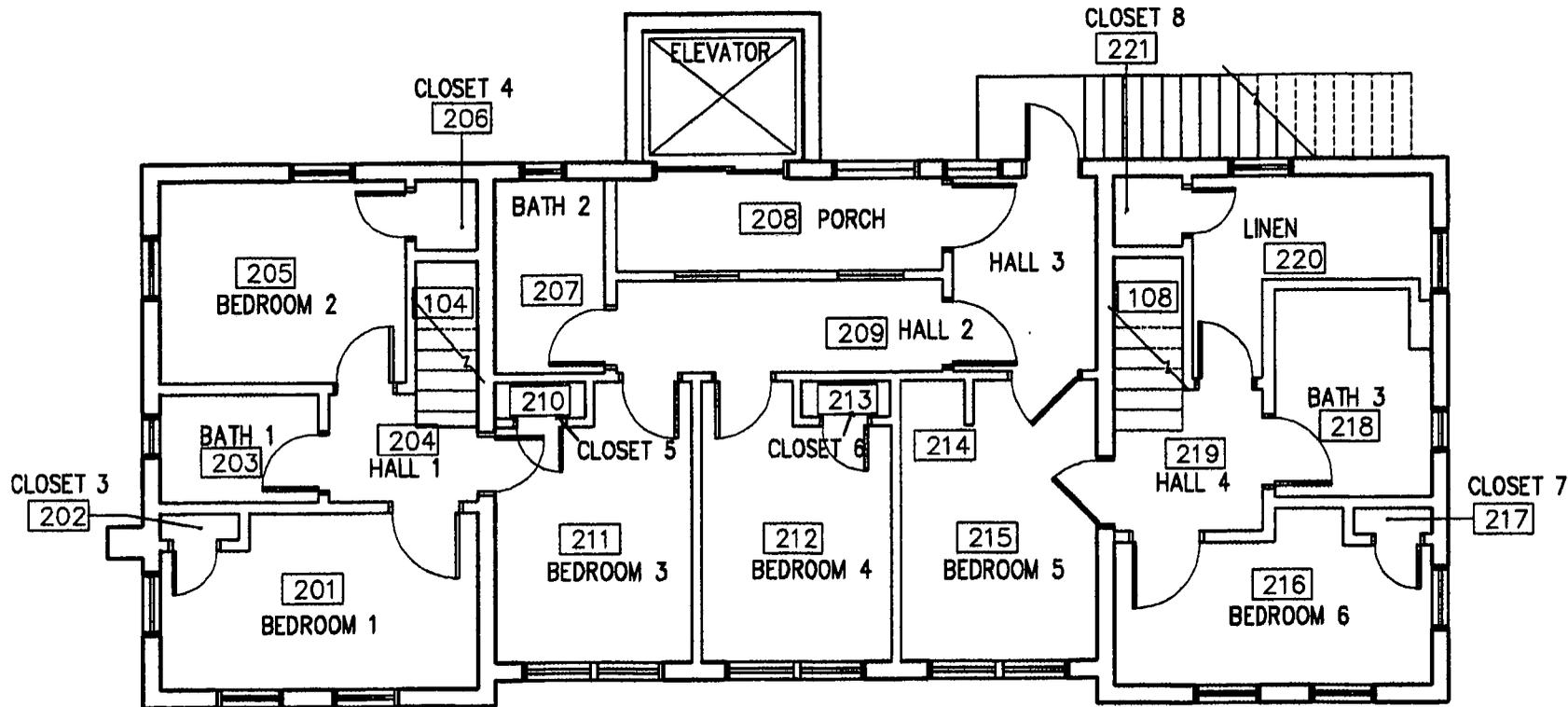
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
SECOND
FLOOR
PLAN

EXHIBIT 10.1



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

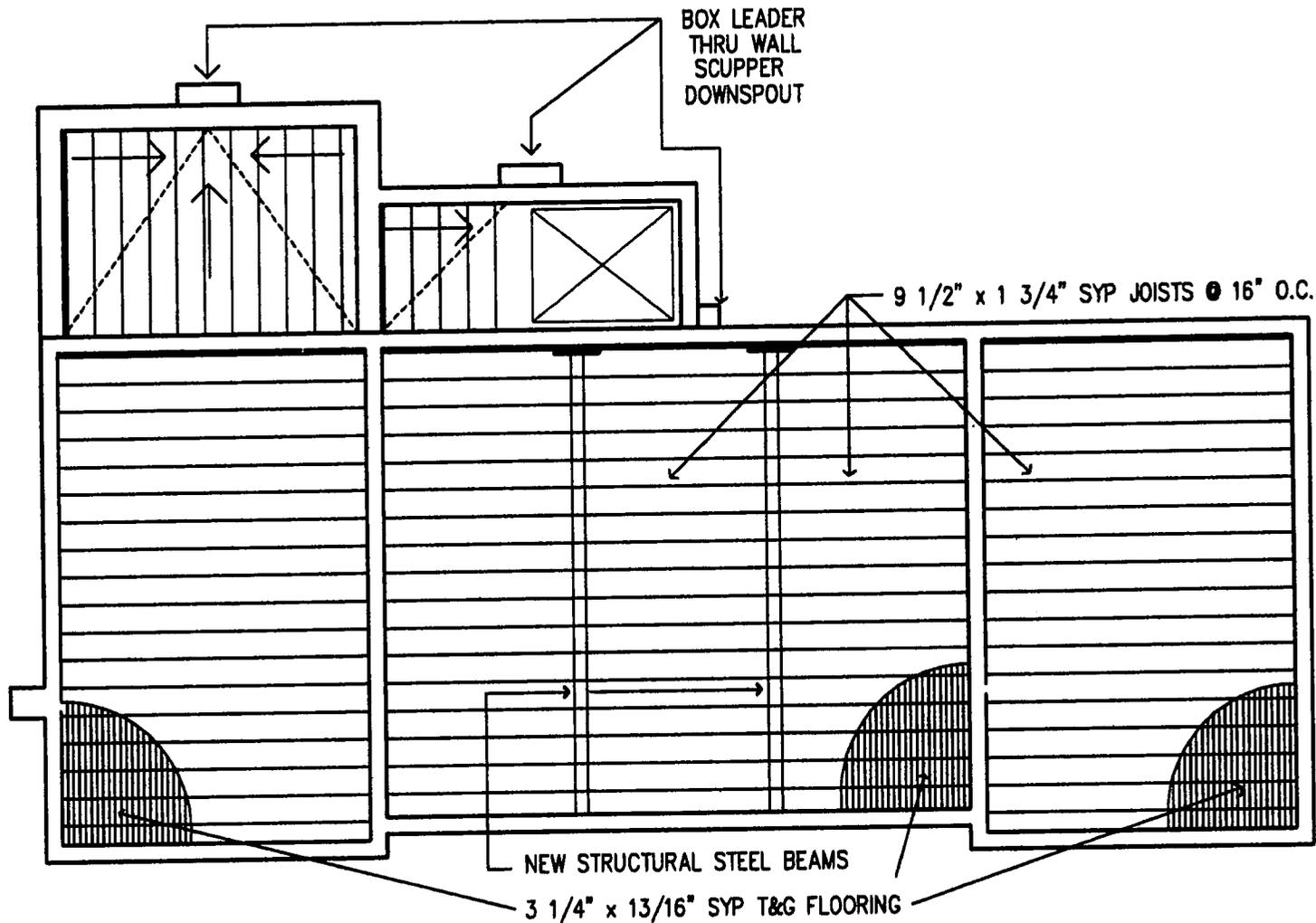
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
SECOND FLOOR
ROOM NAME
PLAN

EXHIBIT
10.1A



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

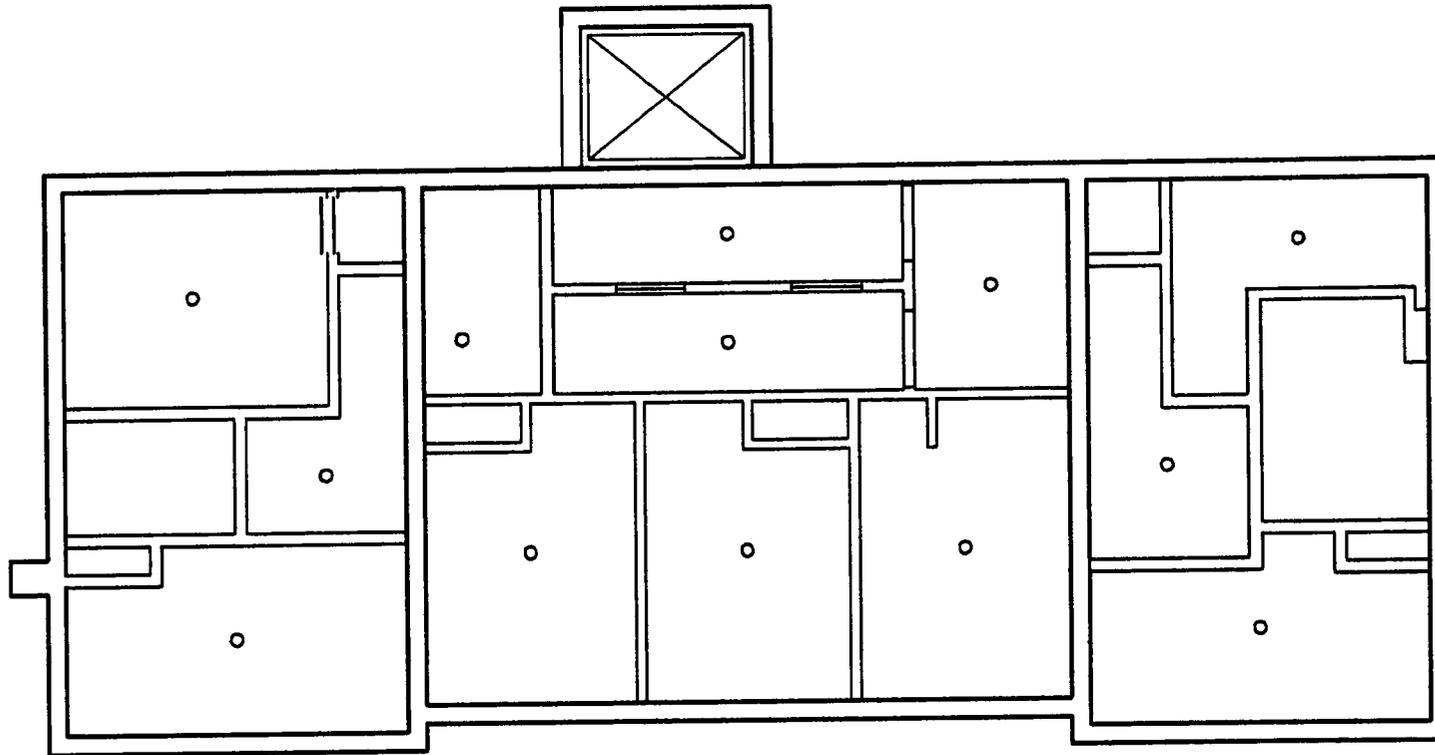
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
SECOND
FLOOR
FRAMING PLAN

EXHIBIT 10.2



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS**

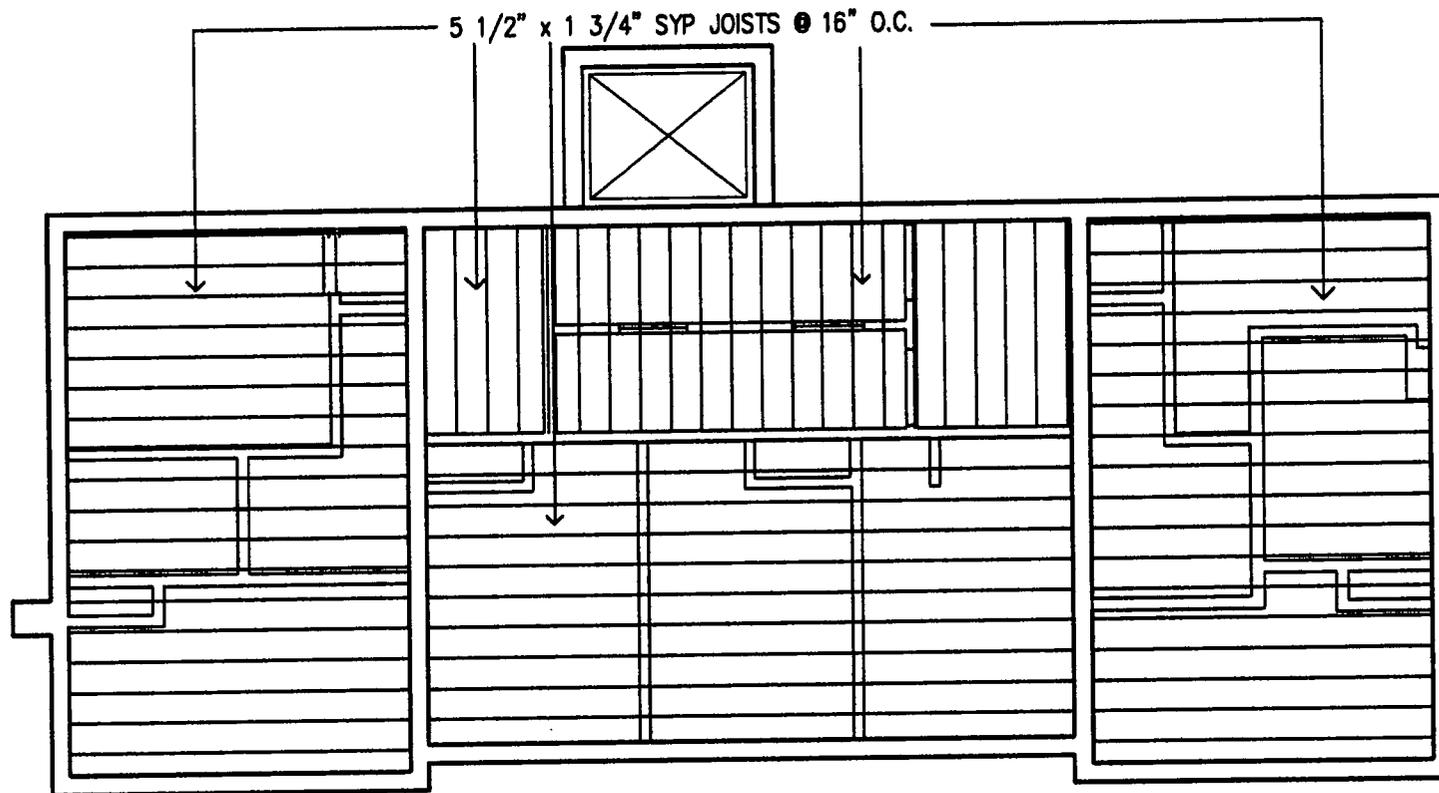
**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
SECOND
FLOOR REFLECTED
CEILING PLAN

EXHIBIT 10.3



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2988

PRESERVATION PLAN

**GARAGE AND
SERVANT'S QUARTERS**

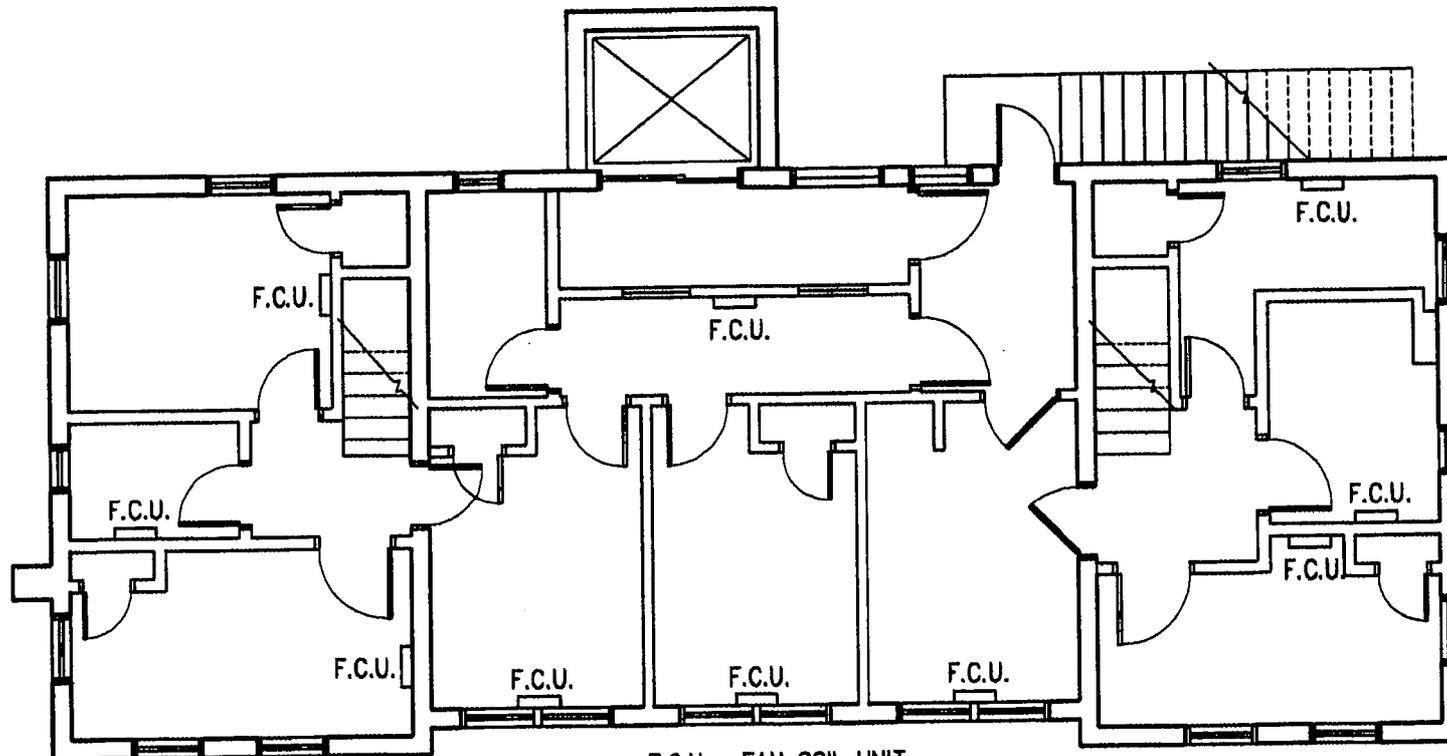
**THE POWEL CROSBY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
SECOND
FLOOR CEILING
FRAMING PLAN

EXHIBIT 10.4



F.C.U. = FAN COIL UNIT



RENKER EICH PARKS ARCHITECTS

1809 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

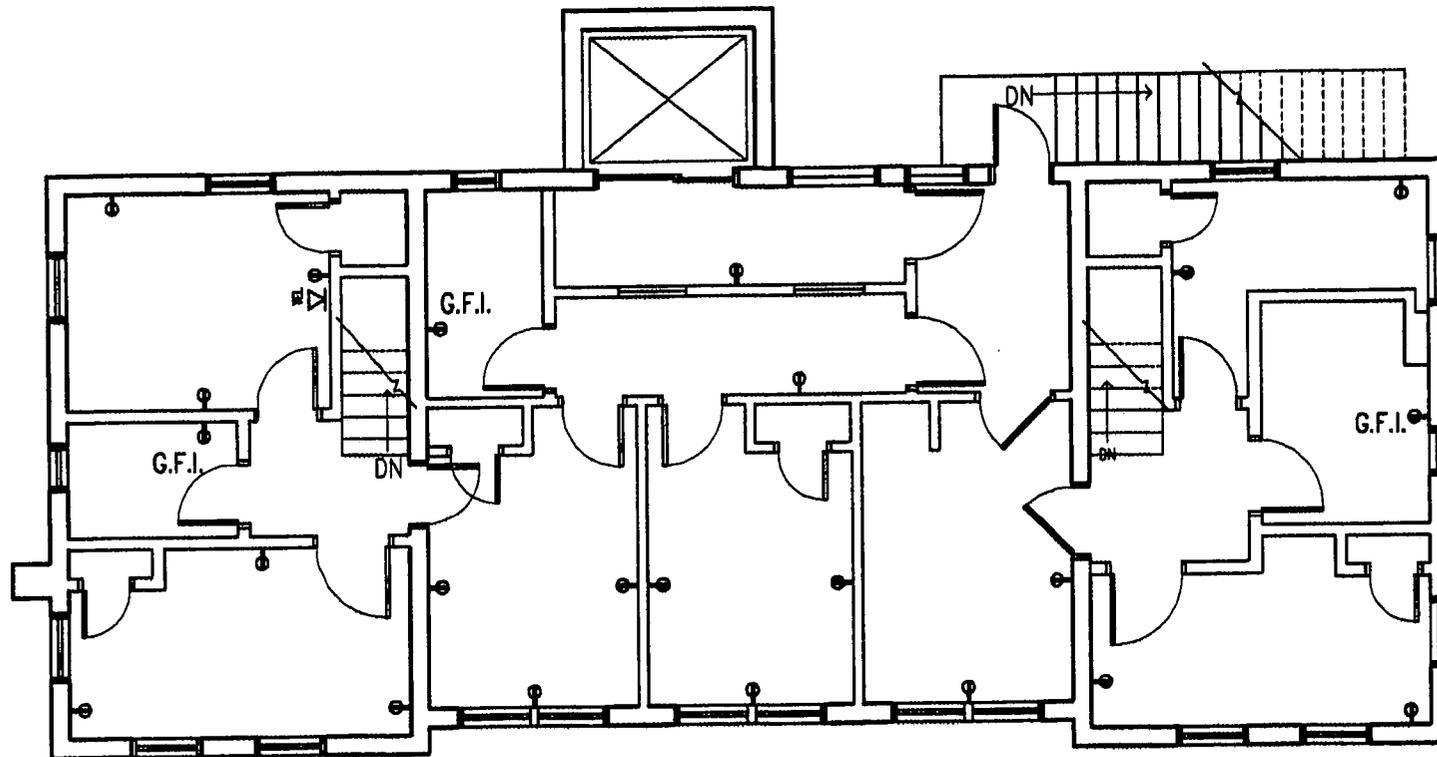
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
SECOND
FLOOR
HVAC PLAN

EXHIBIT 10.6



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

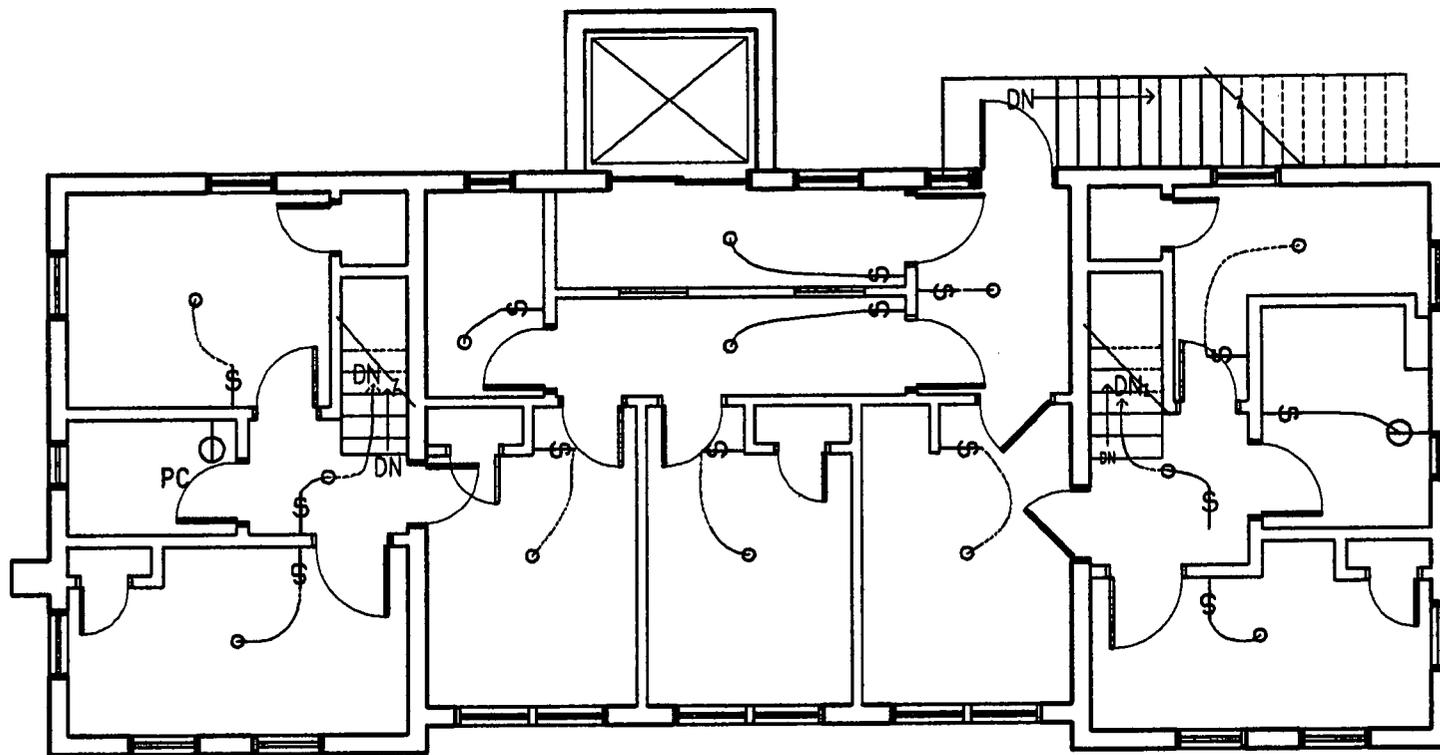
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
SECOND
FLOOR ELECTRIC
POWER PLAN

EXHIBIT 10.7



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

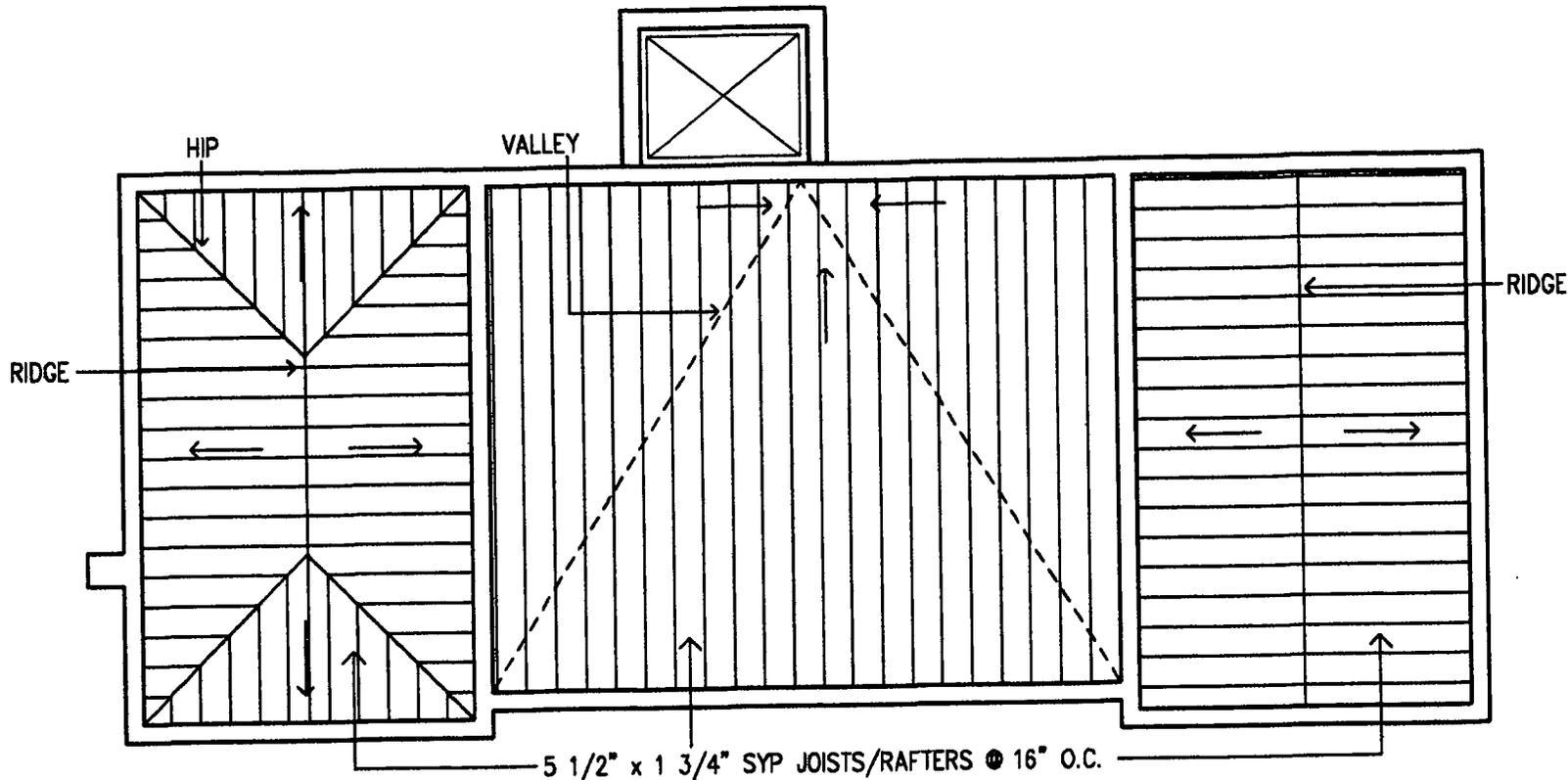
**PRESERVATION PLAN
GARAGE AND
SERVANTS' QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
SECOND
FLOOR ELECTRIC
LIGHTING PLAN

EXHIBIT 10.8



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

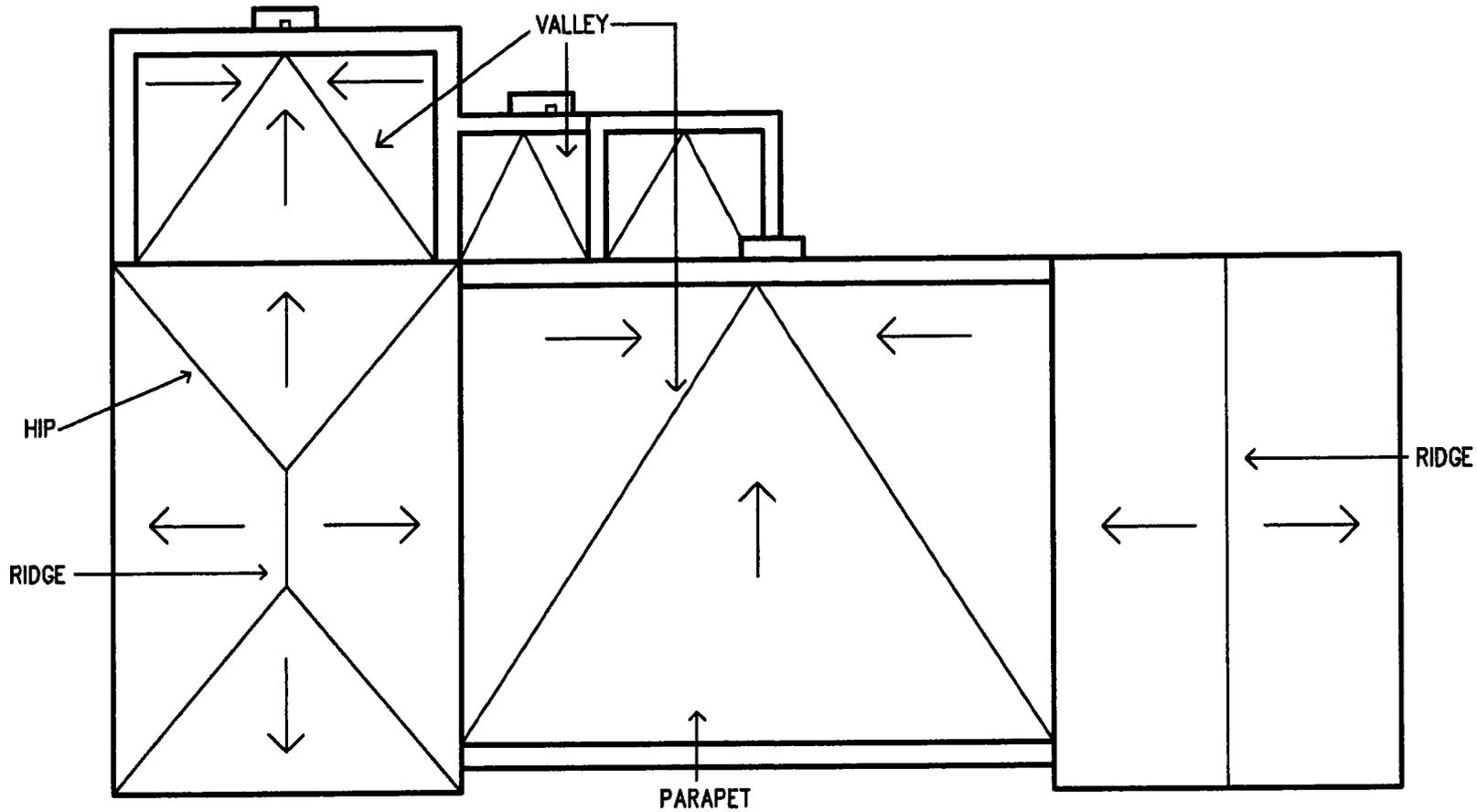
PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORATION
SECOND
FLOOR ROOF
FRAMING PLAN

EXHIBIT 11.1



RENKER EICH PARKS ARCHITECTS

1809 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2988

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
ROOF
PLAN

EXHIBIT 11.2



RENKER EICH PARKS ARCHITECTS

1609 DR. M.L. KING JR. STREET NORTH, ST. PETERSBURG, FLORIDA 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
WEST
BUILDING
ELEVATION

EXHIBIT 12.2



RENKER EICH PARKS ARCHITECTS

1609 DR. M.L. KING JR. STREET NORTH, ST. PETERSBURG, FLORIDA 33704 (727) 821-2986

PRESERVATION PLAN

**GARAGE AND
SERVANT'S QUARTERS**

**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
SOUTH
BUILDING
ELEVATION

EXHIBIT 12.3



RENKER EICH PARKS ARCHITECTS

1609 DR. M.L. KING JR. STREET NORTH, ST. PETERSBURG, FLORIDA 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
1/8" = 1'-0"

RESTORED
EAST
BUILDING
ELEVATION

EXHIBIT 12.4



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

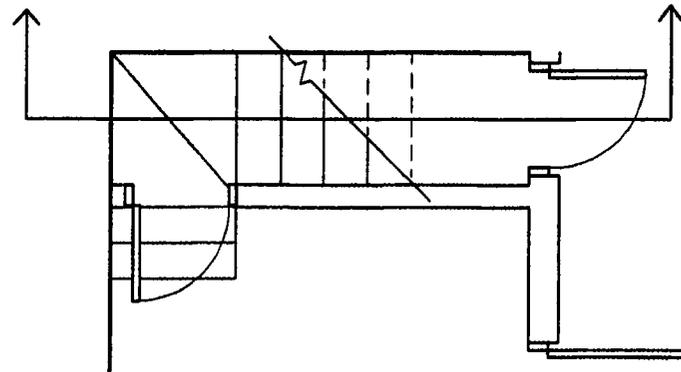
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

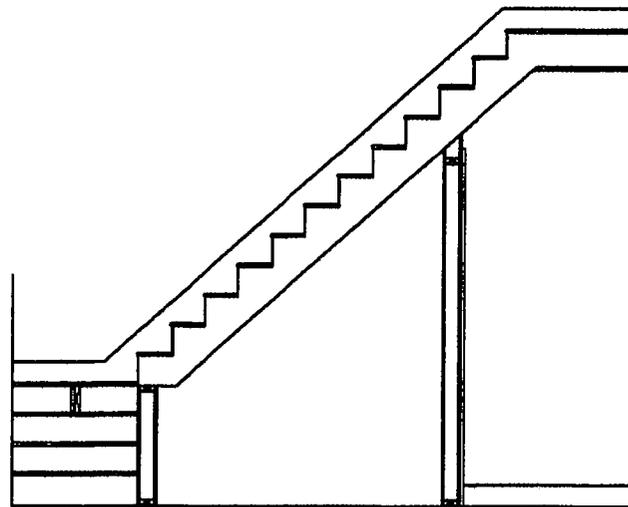
SCALE:
1/8" = 1'-0"

RESTORED
EAST-WEST
BUILDING
SECTION

EXHIBIT 13.1



STAIR PLAN



STAIR SECTION

RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

PRESERVATION PLAN

**GARAGE AND
SERVANT'S QUARTERS**

**THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

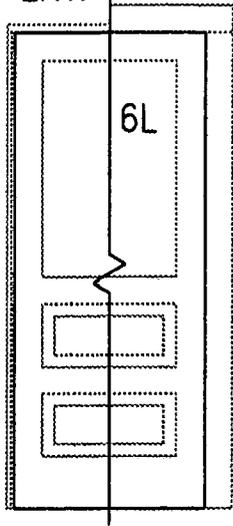
DATE:
APRIL 26, 2006

RESTORED
STAIR
DETAIL

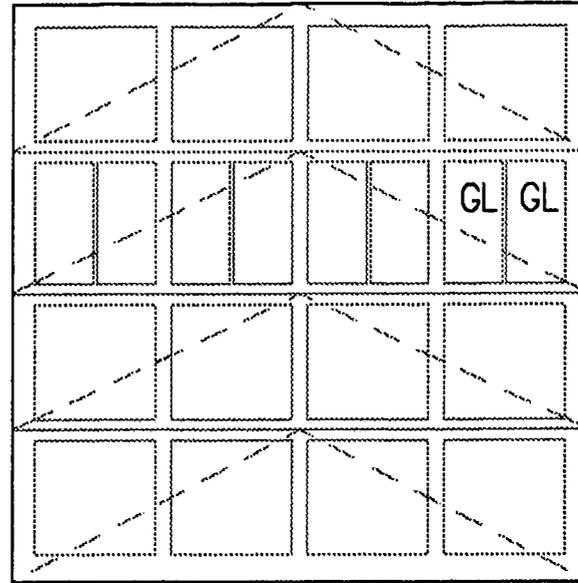
SCALE:
1/4" = 1'-0"

EXHIBIT 14.1

EXT. INT.

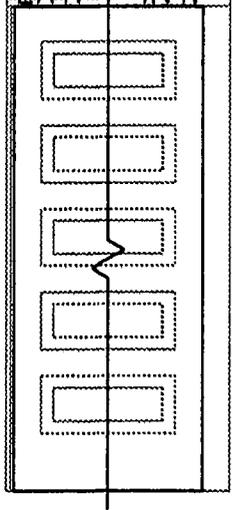


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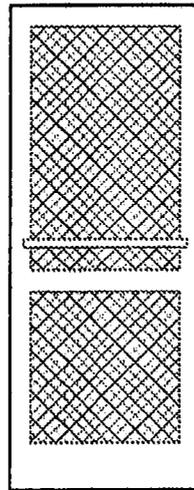


C

EXT. INT.



B



D

RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

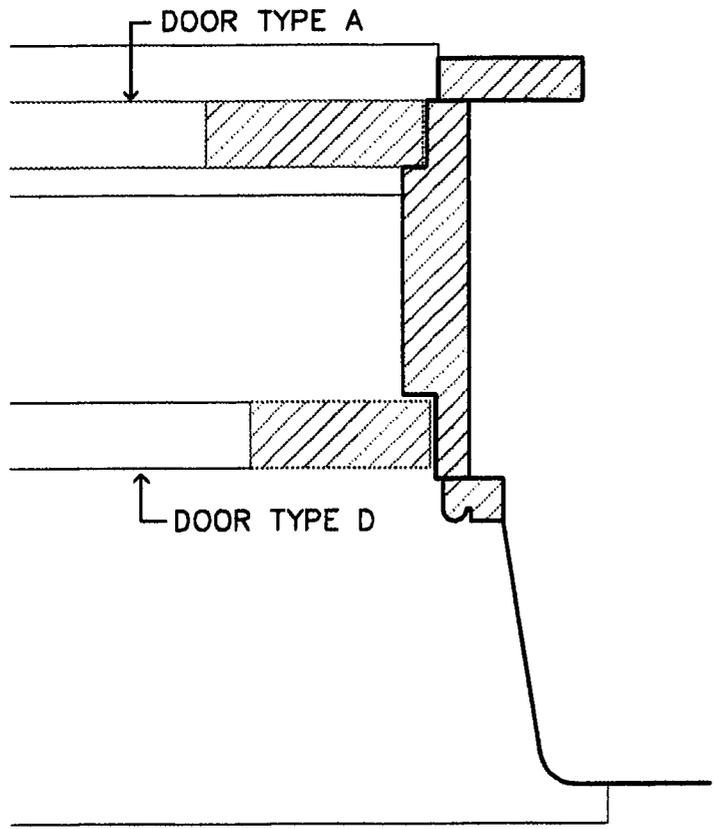
PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA

DATE:
APRIL 26, 2006

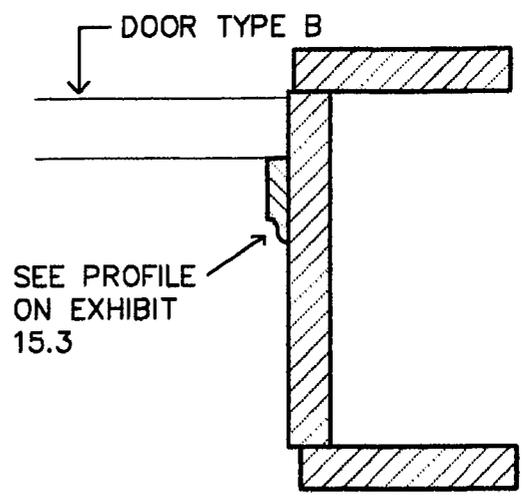
RESTORED
DOORS

SCALE:
3/8" = 1'-0"

EXHIBIT 15.1



JAMB/HEAD DETAIL
EXTERIOR DOOR



JAMB/HEAD DETAIL
INTERIOR DOOR

RENKER EICH PARKS ARCHITECTS
1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

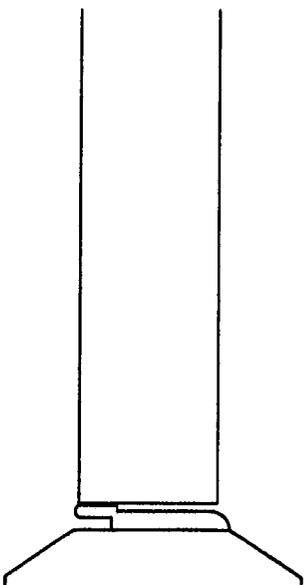
PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA

DATE:
APRIL 26, 2006

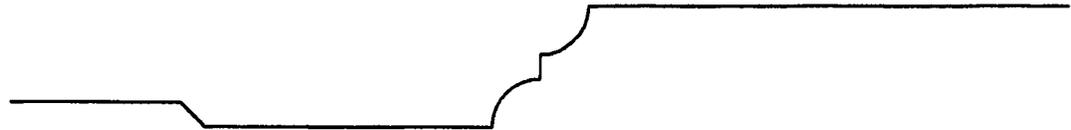
RESTORED
DOOR DETAILS

SCALE:
3" = 1'-0"

EXHIBIT 15.2



DOOR SILL
SCALE: 6"=1'-0"



DOOR PROFILE
SCALE: 12"=1'-0"



DOOR STOP PROFILE
SCALE: 12"=1'-0"

RENKER EICH PARKS ARCHITECTS

1809 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

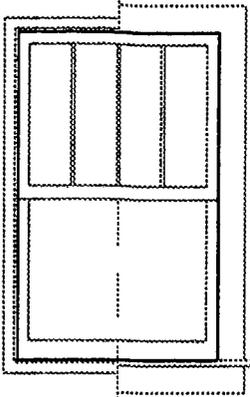
DATE:
APRIL 26, 2006

SCALE:
SEE ABOVE

RESTORED
DOOR DETAILS

EXHIBIT 15.3

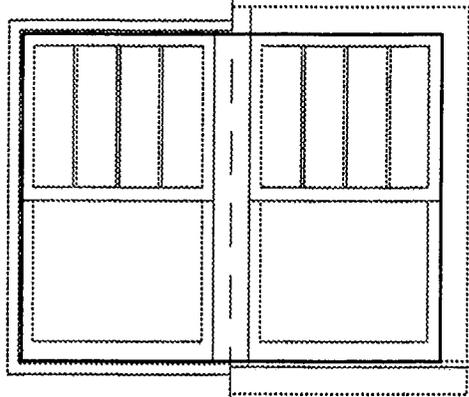
EXT. INT.



A

EXT.

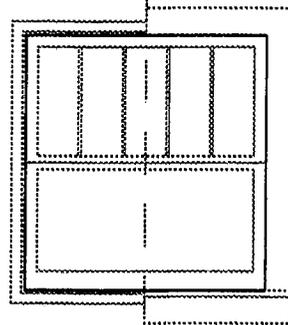
INT.



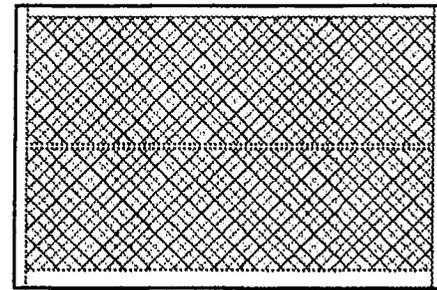
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EXT.

INT.

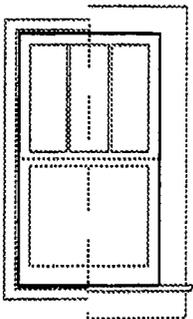


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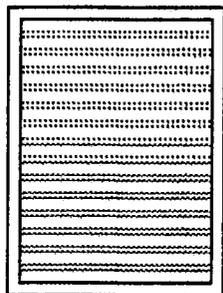


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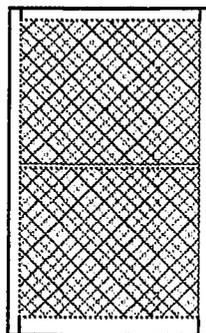
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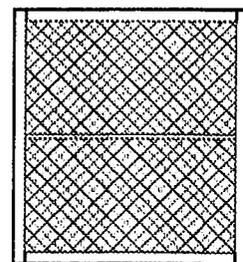
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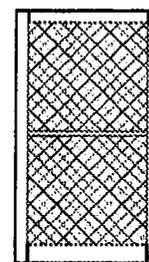
F



G



H



I

RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

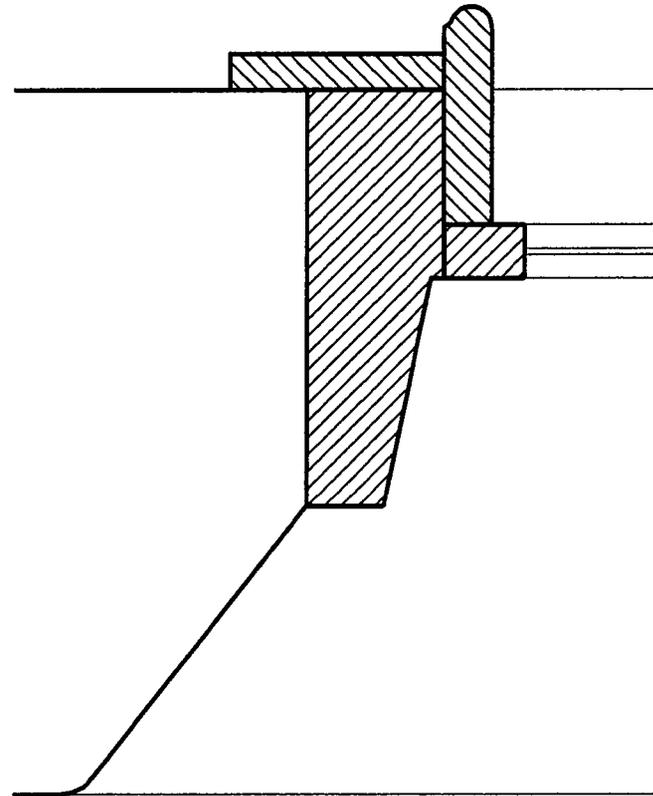
DATE:
APRIL 26, 2006

SCALE:
3/8" = 1'-0"

RESTORED
WINDOWS

EXHIBIT 16.1

SILL SECTION DETAIL



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2988

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

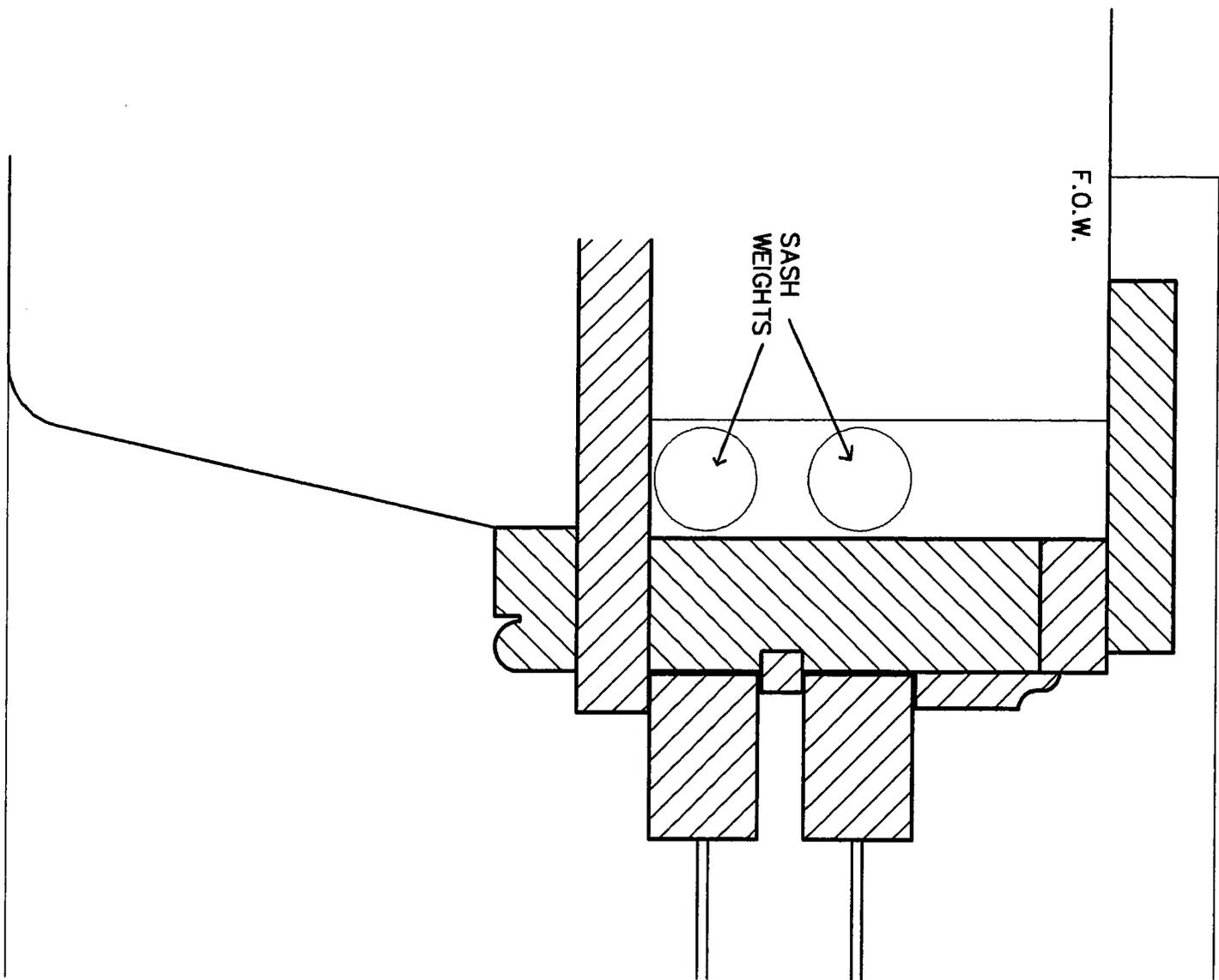
DATE:
APRIL 26, 2006

SCALE:
3" = 1'-0"

RESTORED
WINDOW SILL
SECTION DETAIL

EXHIBIT 16.2

WINDOW JAMB/HEAD DETAIL



RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2886

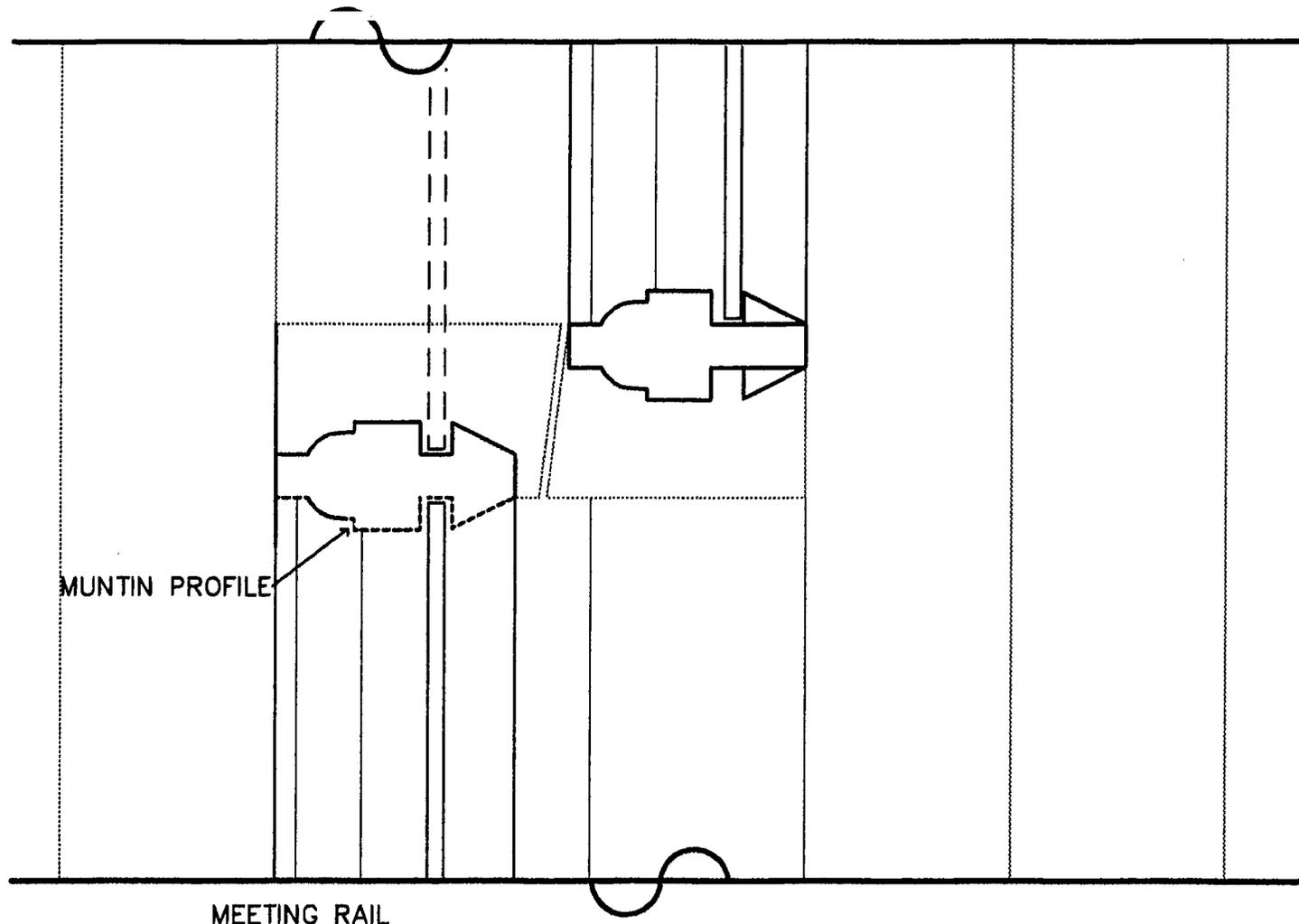
**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
6" = 1'-0"

RESTORED
WINDOW JAMB
HEAD DETAIL

EXHIBIT 16.3



WINDOW MUNTIN DETAIL

RENKER EICH PARKS ARCHITECTS

1609 Dr. M.L. King Jr. Street North, St. Petersburg, Florida 33704 (727) 821-2986

**PRESERVATION PLAN
GARAGE AND
SERVANT'S QUARTERS
THE POWEL CROSLY MUSEUM
SARASOTA, FLORIDA**

DATE:
APRIL 26, 2006

SCALE:
12" = 1'-0"

RESTORED
WINDOW MUNTIN
DETAIL

EXHIBIT 16.4

3.5 FINISH SCHEDULE			
Mark	Description	Condition	Work
101	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Living Rm	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
1	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
102	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Kitchen	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
1	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	Chair rail - 7/8" x 3 1/2" SYP Wood	Fair	Reuse
103	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Closet	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
1	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	SYP shelf w/ ledger, galv. pipe rod	Poor	Replace
104	Floor - 13/16" solid SYP Wood treads and risers	Poor	Replace
Stair	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
1	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
105	Floor - Concrete	Fair	Clean, repair
Laundry	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
106	Floor - Concrete	Fair	Clean, repair
Electrical	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
Room	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
107	Floor - Concrete	Fair	Clean, repair
Garage	Walls - 3/4" gypsum plaster with smooth finish	Fair	Clean, Repair, remove graffiti
	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
108	Floor - 13/16" solid SYP Wood treads and risers	Poor	Replace
Stair	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
2	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace

109	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Closet	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
2	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	SYP shelf w/ ledger, galv. pipe rod	Poor	Replace
110	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Kitchen	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
2	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	Chair rail - 7/8" x 3 1/2" SYP Wood	Fair	Reuse
111	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Living Rm	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
2	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
201	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bedroom	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
1	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
202	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Closet	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
3	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	SYP shelf w/ ledger, galv. pipe rod	Fair	Reuse
203	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bath	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
1	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	Chair rail - 7/8" x 3 1/2" SYP Wood	Poor	Replace
204	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Hall	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
1	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace

205	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bedroom	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
2	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
206	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Closet	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
4	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	SYP shelf w/ ledger, galv. pipe rod	Poor	Replace
207	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bath	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
2	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	Chair rail - 7/8" x 3 1/2" SYP Wood	Poor	Replace
208	Floor - Concrete	Fair	Clean, repair
Porch	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Ceiling - 3/4" gypsum plaster with smooth finish	Fair	Replace - Salvage and reuse in place if possible.
209	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Hall	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
2	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
210	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Closet	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
5	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	SYP shelf w/ ledger, galv. pipe rod	Poor	Replace
211	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bedroom	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
3	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace

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212	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bedroom	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
4	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
213	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Closet	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
6	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	SYP shelf w/ ledger, galv. pipe rod	Fair	Reuse
214	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Closet	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
7	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	SYP shelf w/ ledger, galv. pipe rod	Fair	Reuse
215	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bedroom	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
5	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
216	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bedroom	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
6	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
217	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Closet	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
8	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	SYP shelf w/ ledger, galv. pipe rod	Fair	Reuse
218	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bath	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
3	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	Chair rail - 7/8" x 3 1/2" SYP Wood	Fair	Reuse

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219	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Hall	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
3	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
220	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Bedroom	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
7	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
221	Floor - 13/16" x 3 1/4" SYP T & G Wood Flooring	Poor	Replace
Closet	Walls - 3/4" gypsum plaster with smooth finish	Poor	Replace
9	Ceiling - 3/4" gypsum plaster with smooth finish	Poor	Replace
	Trim - Base - 7/8" x 5 1/2" SYP Wood	Poor	Replace
	SYP shelf w/ ledger, galv. pipe rod	Poor	Replace
	Notes:		
	SYP= Southern Yellow Pine		
	T & G = Tongue and Groove		
	1. All interior woodwork (flooring, base, chair rails, door and window trim, stair treads, etc.) to be finished with natural finish.		
	2. All interior plaster to be painted.		
	3. All exterior stucco to be painted,		
	4. All exterior woodwork to be painted.		

3.6 DOOR SCHEDULE

Mark	Type	Size	Hardware	Condition	Work
101A	A/D	3'-0" x 7'-0" x 1 3/4"	Door - 1 1/2 pair 3 1/2" x 3 1/2" ball tipped butt hinges 1 mortise lock with New York style trim, weather-stripping, wood threshold	Frame poor with termite damage, door missing, screen door missing.	Replace frame, door, hardware and screen door
Living Rm 1	Screen - 1 1/2 pair 3" x 3" self-closing butt hinges				
	Slide bolt lock, 4 1/4" handle on ext.				
101B	B	2'-6" x 6'-8 3/4" x 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges	Frame fair, door missing	Replace frame, door, hardware
Liv 1/ Kit 1	1 mortise lock with New York style trim				
101C	B	2'-0" x 6'-8 3/4" x 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges	Frame partially missing, east jamb extant poor, door	Replace frame, door, hardware
Liv 1/ Clo 1	1 mortise lock with New York style trim				
102A	A/D	2'-8" x 6'-7 1/4" x 1 3/4"	Door - 1 1/2 pair 3 1/2" x 3 1/2" ball tipped butt hinges 1 mortise lock with New York style trim, weather-stripping, wood threshold	Frame fair, door poor, screen door missing	Replace frame, door, hardware and screen door
Kitchen 1	Screen - 1 1/2 pair 3" x 3" self-closing butt hinges				
	Slide bolt lock, 4 1/4" handle on ext.				
102B	B	2'-6" x 7'-4" x 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges	Frame fair, door missing	Replace frame, door, hardware
Kit 1/ Stair 1	1 mortise lock with New York style trim				
105A	B	2'-8" x 6'-7" x 1 3/4"	Door - 1 1/2 pair 3 1/2" x 3 1/2" ball tipped butt hinges 1 mortise lock with New York style trim,	Frame poor, door poor, screen door missing	Replace frame, door, hardware and screen door
Laundry	Screen - 1 1/2 pair 3" x 3" self-closing butt hinges				
	4 1/4" handle on ext.				
106A	B	3'-0" x 6'-8" x 1 3/4"	Door - 1 1/2 pair 3 1/2" x 3 1/2" ball tipped butt hinges 1 mortise lock with New York style trim	Frame poor, door missing	Replace frame, door, hardware
Elec Rm					
106B	B	2'-6" x 6'-8" x 1 3/4"	Door - 1 1/2 pair 3 1/2" x 3 1/2" ball tipped butt hinges 1 mortise lock with New York style trim	Frame poor, door missing	Replace frame, door, hardware
Elec Rm					
107A	B	2'-7 3/4' x 6'-8 1/2" x 1 3/4"	Door - 1 1/2 pair 3 1/2" x 3 1/2" ball tipped butt hinges 1 mortise lock with New York style trim	Frame poor, door missing	Replace frame, door, hardware
Garage					
107B	C	8'-0" x 8'-0" x 1 3/4"	Overhead track, keyed cylinder lock, two lift	Frame poor, door poor	Replace frame, door hardware
Garage	handle on exterior one lift handle on interior				

107C	C	8'-0" x 8'-0" x 1 3/4"	Overhead track, keyed cylinder lock, two lift handle on exterior one lift handle on interior	Frame poor, door poor	Replace frame, door hardware
Garage					
107D	C	8'-0" x 8'-0" x 1 3/4"	Overhead track, keyed cylinder lock, two lift handle on exterior one lift handle on interior	Frame poor, door poor	Replace frame, door hardware
Garage					
110A	A/D	2'-8" x 6'-7 1/4" x 1 3/4"	Door - 1 1/2 pair 3 1/2" x 3 1/2" ball tipped butt hinges 1 mortise lock with New York style trim, weather-stripping, wood threshold	Frame fair, door fair, screen door missing	Reuse frame, door, hardware and replace screen door. Replace missing glass in door.
Kitchen 2			Screen - 1 1/2 pair 3" x 3" self-closing butt hinges		
			Slide bolt lock, 4 1/4" handle on ext.		
110B	B	2'-6" x 7'-4" x 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges 1 mortise lock with New York style trim	Frame missing, door poor	Replace frame, door, hardware
Kit 2/Stair 2					
111A	B	2'-0" x 6'-8 3/4" x 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges 1 mortise lock with New York style trim	Frame missing, door missing	Replace frame, door, hardware
Liv 2/Clo 2					
111B	B	2'-6" x 6'-8 3/4" x 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges 1 mortise lock with New York style trim	Frame fair, door missing	Replace frame, door, hardware
Liv 2/Kit 2					
111C	A/D	3'-0" x 7'-0" x 1 3/4"	Door - 1 1/2 pair 3 1/2" x 3 1/2" ball tipped butt hinges 1 mortise lock with New York style trim, weather-stripping, wood threshold	Frame poor, door missing, screen door missing	Replace frame, door, hardware and screen door
Living 2			Screen - 1 1/2 pair 3" x 3" self-closing butt hinges		
			Slide bolt lock, 4 1/4" handle on ext.		
201A	B	2'-0" X 6'-8" X 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges 1 mortise lock with New York style trim	Frame poor, door poor	Replace frame, door, hardware
Bed 1/Clo 3					
201B	B	2'-6" X 6'-8" X 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges 1 mortise lock with New York style trim	Frame poor, door missing	Replace frame, door, hardware
Bed 1/Hall 1					
203A	B	2'-6" X 6'-8" X 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges 1 mortise lock with New York style trim	Frame poor, door poor	Replace frame, door, hardware
Bath 1/Hall 1					

205A	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 2/Hall 1		2'-6" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door missing	
205B	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 2/Clo 4		2'-0" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door poor	
207A	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bath 2/Hall 2		2'-6" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door missing	
208A	A		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Porch/Hall2		2'-6" X 6'-8" X 1 3/4"	1 mortise lock with New York style trim	Frame poor, door poor	
208B	D		Screen - 1 1/2 pair 3" x 3" self-closing butt hinges		Replace frame, door, hardware
Porch		2'-6" X 6'-8" X 1 3/8"	Slide bolt lock, 4 1/4" handle on ext.	Frame poor, door missing	
211A	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 3/Hall1		2'-0" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door poor	
211B	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 3/Clo 5		2'-0" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door missing	
211C	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 3/Hall 2		2'-6" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door missing	
212A	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 4/Hall 2		2'-6" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door missing	
212B	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 4/Clo 6		2'-0" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door missing	
215A	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 5/Clo 7		2'-0" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door poor	
215B	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 5/Hall 2		2'-6" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door poor	
215C	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 5/Hall 3		2'-6" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door missing	
216A	B		Door - 1 pair 3" x 3" ball tipped butt hinges		Replace frame, door, hardware
Bed 6/Hall 3		2'-6" X 6'-8" X 1 3/8"	1 mortise lock with New York style trim	Frame poor, door missing	

216B	B	2'-0" X 6'-8" X 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges	Frame poor, door poor	Replace frame, door, hardware
Bed 6/Clo 8			1 mortise lock with New York style trim		
218A	B	2'-6" X 6'-8" X 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges	Frame poor, door missing	Replace frame, door, hardware
Bath 3/Hall 3			1 mortise lock with New York style trim		
220A	B	2'-6" X 6'-8" X 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges	Frame poor, door missing	Replace frame, door, hardware
Bed 7/Hall 3			1 mortise lock with New York style trim		
221A	B	2'-0" X 6'-8" X 1 3/8"	Door - 1 pair 3" x 3" ball tipped butt hinges	Frame poor, door poor	Replace frame, door, hardware
Bed 7/Clo 9			1 mortise lock with New York style trim		
Note: Paneled and screened door hinges are 1/2 mortised (frame) and 1/2 surface (door) mounted.					

3.7 WINDOW SCHEDULE					
Mark	Type	Size	Hardware and Glass	Condition	Work
1	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame and 2 sash poor,	Replace frame, sash, hardware and
Living Rm		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	screen missing	screen
1			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
2	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Living Rm		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor	screen
1			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
3	C/H	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame and 2 sash poor	Replace frame, sash, hardware and
Kitchen		3'-4" x 3'-6 1/2"	4 sash cord, 1 meeting rail lock, 1 finger lift	Screen missing	screen
1			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 6 3/4" x 18 1/8", Glass bottom		
			34" x 18 1/8", Bronze screening		
4	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	All missing	Replace frame, sash, hardware and
Laundry		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift		screen
			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
5	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Partial frame poor. Sash and	Replace frame, sash, hardware and
Laundry		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	screen missing	screen
			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
6	F	Metal louver	-----	Metal louver fair.	Replace frame, reuse louver. Make
Electric		3'-0" x 4'-0"		Surrounding wood frame	minor repairs to louver
				poor	
7	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame poor, sash and	Replace frame, sash, hardware and
Kitchen		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	screen missing	screen
2			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		

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8	C/H	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame and 2 sash poor	Replace frame, sash, hardware and
Kitchen		3'-4" x 3'-6 1/2"	4 sash cord, 1 meeting rail lock, 1 finger lift	Screen missing	screen
2			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 6 3/4" x 18 1/8", Glass bottom		
			34" x 18 1/8", Bronze screening		
9	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame and 1 sash poor	Replace frame, sash, hardware and
Living Rm		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	Screen and one sash missing	screen
2			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
10	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Living Rm		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor	screen
2			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
11	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame and 2 sash poor	Replace frame, sash, hardware and
Living Rm		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	Screen missing	screen
2			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
12	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame and 1 sash poor	Replace frame, sash, hardware and
Living Rm		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	Screen and 1 sash missing	screen
2			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
13	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame and 2 sash poor	Replace frame, sash, hardware and
Living Rm		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	Screen missing	screen
1			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
14	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame and sash poor	Replace frame, sash, hardware and
Living Rm		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	Screen missing	screen
1			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		

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23	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame and 2 sash fair	Reuse frame, sash and hardware.
Hall		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift		
			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
24	E	Screen	Bronze screen	Frame poor, screen missing	Replace frame and screen
Porch		2'-6" x 3'-11"			
25	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Bedroom		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor	screen
7			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
26	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Bedroom		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor	screen
7			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
27	D/I	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Bath		2'-0" x 3'-6"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor	screen
3			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 6 3/4" x 18 1/8", Glass bottom		
			20" x 18 1/8", Bronze screening		
28	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Bedroom		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor, Screen missing	screen
6			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
29	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Bedroom		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor	screen
6			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		

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30	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Bedroom		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor	screen
6			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
31	B/G	Double unit	Window 8 sash pulleys, 8 sash weights	Frame, 3 sash and screen	Replace frame, sash, hardware and
Bedroom		Sash and screen	8 sash cord, 2 meeting rail lock, 2 finger lift	poor, 1 sash missing	screen
5		2'-10" x 4'-6 3/8"	Screen 4 top mount pivots, 2 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
32	B/G	Double unit	Window 8 sash pulleys, 8 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Bedroom		Sash and screen	8 sash cord, 2 meeting rail lock, 2 finger lift	poor	screen
4		2'-10" x 4'-6 3/8"	Screen 4 top mount pivots, 2 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
33	B/G	Double unit	Window 8 sash pulleys, 8 sash weights	Frame, 2 sash and screen	Replace frame, sash, hardware and
Bedroom		Sash and screen	8 sash cord, 2 meeting rail lock, 2 finger lift	poor, 2 sash missing	screen
3		2'-10" x 4'-6 3/8"	Screen 4 top mount pivots, 2 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
34	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 1 sash and screen	Replace frame, sash, hardware and
Bedroom		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor, 1 sash missing	screen
1			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		
35	A/G	Sash and screen	Window 4 sash pulleys, 4 sash weights	Frame, 1 sash and screen	Replace frame, sash, hardware and
Bedroom		2'-10" x 4'-6 3/8"	4 sash cord, 1 meeting rail lock, 1 finger lift	poor, 1 sash missing	screen
1			Screen 2 top mount pivots, 1 hook and eye		
			Glass - top 7 1/4" x 24 1/8", Glass bottom		
			30" x 24 1/8", Bronze screening		

Code Analysis

4. CODE ANALYSIS

The extent of restoration construction at the Crosley Garage and Servants Quarters mandates the level of code compliance required. Since the value of the construction is more than 50% of the value of the structure, the entire building must be brought up to 100% code compliance, for both building and accessibility codes. This will affect the rehabilitation construction as follows:

4.1 Building Code

- The floor and roof framing will have to be analyzed to make sure the members are of sufficient size to be code compliant.
- The roofing materials will have to be selected to be code compliant. The Spanish barrel tile roofs can still match the original; however the flat roof material may be altered from the original. Visually the change in the roofing for the flat roofs is of little consequence because it is not visible from the ground.
- Due to the proximity of the building to the coast of Florida the window and door glass and the reconstructed window and door units will have to be engineered to withstand hurricane forces.
- The exterior stairs will have to have new railings and handrails added as presently there are no handrails on the stair.
- The reconstructed interior stairs will have to be reconfigured to comply with code required riser height and tread depth.

4.2 Accessibility Code

- The existing concrete driveway provides access from the parking to the garage. At the intersection of the driveway and the main drive for the estate a designated accessible parking space of proper size and marked with proper signage is to be installed.
- An elevator is to be installed in the original electrical room to provide access to the second floor
- A sidewalk starting at the existing concrete apron north of the building should surround the building to provide access to the first floor east and west spaces, laundry, garage back door and the elevator located in the original electrical room on the south side of the building. Fill is to be installed prior to the sidewalk to create slopes of 1:20 on the sidewalks, which will eliminate the need for handrails.
- Doors are to be widened as necessary to provide access to laundry, garage, west unit, and an accessible bedroom and bath on the second floor.
- The second floor bathroom is to be accessible with all necessary accessories lavatory, water closet and tub/shower.

4.3 Electric Code

- All rooms are to have code mandated lighting, emergency lighting and power receptacles.
- Fire alarm, smoke detection and exit light systems are to be installed.

4.4 Plumbing Code

- The second floor west bathroom fixtures are to be accessible.

Probable Cost

5. PROBABLE COST OF CONSTRUCTION

5.1 PHASE I

5.1.1 Site

- Clean drive, curb inlets, parking apron and existing steps (4) \$ 7,600.00
 - Clean yard, remove vegetation within 20' of house except for well established trees. \$ 6,000.00
 - New sidewalks and fill at grade for H/C access to east (office) and west (dayroom) units. \$ 17,600.00
- Subtotal \$ 31,200.00

5.1.2 Exterior

- Demolish roof, doors (12), windows (35), walls at laundry and electrical room, hoods at north entry doors. Salvage doors and windows and associated trim for reuse. \$ 67,000.00
 - Install new roof
 - Tile
 - Built-up
 - Leaders, downspouts
 \$ 78,000.00
 - Install new doors and hardware (12 - 9 single, 3 garage) \$ 22,800.00
 - Install new windows and hardware (35) \$ 42,000.00
 - Install new walls at laundry, electrical room, and elevator. Rebuild lintels over garage door openings \$ 37,300.00
 - Clean and repair stucco \$ 17,600.00
 - Reinstall crest in north elevation parapet. \$ 3,500.00
 - Paint all exterior wood trim at doors, windows and hoods. \$ 13,400.00
- Subtotal \$281,600.00

5.1.3 Interior

Architectural

- Demolition - remove interior wood floors/plaster ceilings with framing, plaster/ wood stud partitions with doors, 2 steel beams at ceiling of garage. Salvage wood flooring, doors and associated wood trim for reuse. \$ 44,000.00
 - Install new floor, partition and roof framing. \$ 53,000.00
 - Install steel beams (2) at garage ceiling. \$ 7,600.00
- Subtotal \$104,600.00

Plumbing

• Demolish existing plumbing system, salvage fixtures for reuse.	\$ 8,700.00
• New piping to fixtures (11)	<u>\$ 16,000.00</u>
Subtotal	\$ 24,700.00

Electrical

• Demolish existing electrical systems.	\$ 3,700.00
• New rough wiring	<u>\$ 8,000.00</u>
Subtotal	\$ 11,700.00

Total of Above Divisions	\$453,800.00
Contractors Overhead (15%)	<u>\$ 68,070 .00</u>
Subtotal	\$521,870.00
Contractors Profit (10%)	<u>\$ 52,187.00</u>
Total	\$574,057.00
Price Escalation to June 2007 (8%)	<u>\$ 45,925.00</u>
Grand Total	\$619,982.00

5.2 *PHASE II*

5.2.1 *Site*

• Clean yard ready for landscape work, remove vegetation within 50' of house except for well established trees.	\$ 7,400.00
• Repair drive, apron, steps.	\$ 5,400.00
• Install H/C parking space with signage, wheel stop, paving, and markings.	<u>\$ 8,700.00</u>
Subtotal	\$ 21,500.00

5.2.2 *Exterior*

• Install handrail at stair and portion of ramp	<u>\$ 7,800.00</u>
Subtotal	\$ 7,800.00

5.2.3 *Interior*

Architectural

• Install and finish new wood flooring.	\$ 27,400.00
• Install new plaster wall and ceiling finishes.	\$ 77,500.00
• Install new wood trim at doors, windows, baseboards, chair rails and closet shelving.	<u>\$ 43,700.00</u>

• Install new stairs.	\$ 11,500.00
• Install new doors and hardware (26)	\$ 36,400.00
• Paint all plaster.	\$ 18,600.00
• Finish all wood trim at doors, windows, baseboards and chair rails.	\$ 13,700.00
• Install new kitchen base cabinets.	\$ 2,700.00
• Install new elevator.	\$ 87,400.00
• Install new toilet accessories.	<u>\$ 8,700.00</u>
Subtotal	\$327,600.00

Mechanical

• New HVAC systems (4)	<u>\$ 53,000.00</u>
Subtotal	\$ 53,000.00

Plumbing

• New underground drain to sewer	\$ 12,300.00
• Refurbishing of existing fixtures (11)	<u>\$ 6,500.00</u>
Subtotal	\$ 18,800.00

Electrical

• New service entry	\$ 7,800.00
• New power wiring	\$ 13,400.00
• New lighting wiring and fixture	<u>\$ 19,400.00</u>
Subtotal	\$ 40,600.00

Total of Above Divisions	\$469,300.00
Contractors Overhead (15%)	<u>\$ 70,395.00</u>
Subtotal	\$539,695.00
Contractors Profit (10%)	<u>\$ 53,970.00</u>
Total	\$593,665.00
Price Escalation to June 2008 (12%)	<u>\$ 71,240.00</u>
Grand Total	\$664,905.00

Phase I and II - Overall Total \$1,284,887.00

Preservation Plan
for the

Crosley Carriage House

(Garage and
Servant's Quarters)

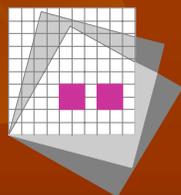
RENKER-EICH-PARKS
ARCHITECTS

ARCHITECTURE / HISTORIC PRESERVATION



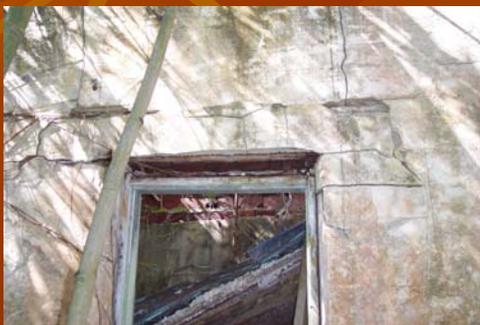


Crosley Carriage House Garage and Servant's Quarters



Renker Eich Parks Architects
Historic Preservation
and Architecture

Today's Presentation



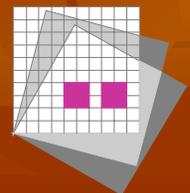
- Introduction of Renker Eich Parks Architects
- Steps in the Process
The Secretary of the Interior's Guidelines
- The Preservation Plan Report
 - History
 - Building Use
 - Condition Assessment and Recommendations
 - Code Analysis
 - Probable Costs
- Question and Answer

Renker Eich Parks Architects



Bok Tower
Lake Wales, Florida
A National Historic Landmark

- The firm was formed in St. Petersburg in 1985
- Since 1987 Preservation has been a major focus for our firm
- John Parks has 29 years of experience in Architecture with a focus on preservation
- Kathryn Younkin has 5 ½ years experience also focusing on Preservation work



The Process

- The first step in the restoration of the building is this report
- Historic Preservation Grant applied for
- Decisions on the grant in Fall 2006
- Funding if grant received in July 2007
- Construction Documents for Phase I are being prepared now
- Future Grant Cycle one year later
- All work is done using the Secretary of the Interiors Standards as our guide



Prepared For
Facilities Management Department
Manatee County Government
Bradenton, FL

Preservation Plan
for the
Crosley Carriage House
(Garage and
Servant's Quarters)

at the
Crosley Museum
Sarasota, Florida

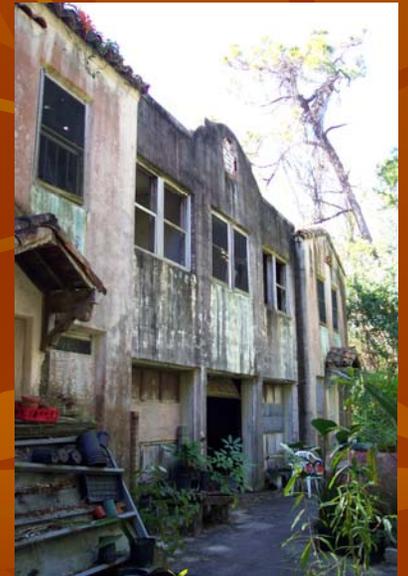
April 26, 2006



 **RENKER-EICH-PARKS**
ARCHITECTS
ARCHITECTURE / HISTORIC PRESERVATION

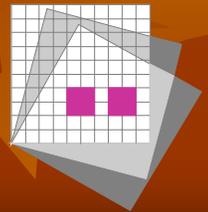
History of the Building

- Construction on the Powell Crosley Mansion and the garage was completed in 1929, the mansion was also known as Seagate
- Built under the supervision of Architect George Albree Freeman Jr. of New York, who also designed Sarasota's downtown Post Office
- Powel Crosley Jr. was an industrialist, inventor and a visionary. Some of his many innovations related to radios, refrigerators and automobiles.



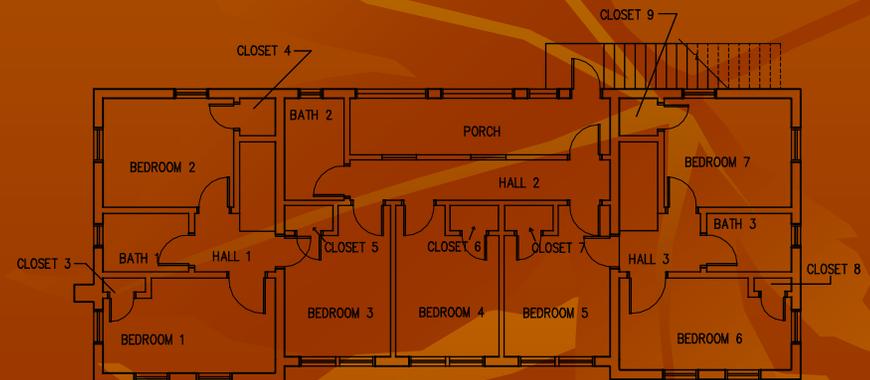
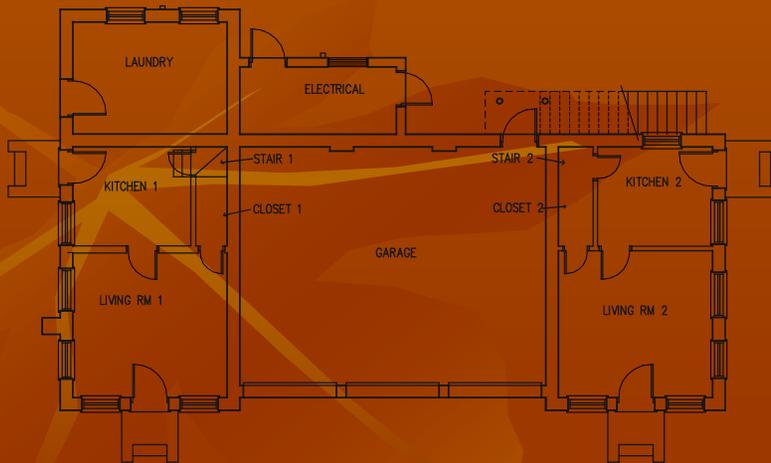
History

- Crosley built the house for his wife Gwendolyn, after she passed away in 1939 the house was infrequently used
- During World War II the mansion housed pilots in training
- The mansion was listed on the National Register of Historic Places in 1983
 - Significant in the area of architecture
 - The period of significance is 1925-1949
 - The period of significance for the Garage is the same
- In 1991 the property was acquired by Manatee County



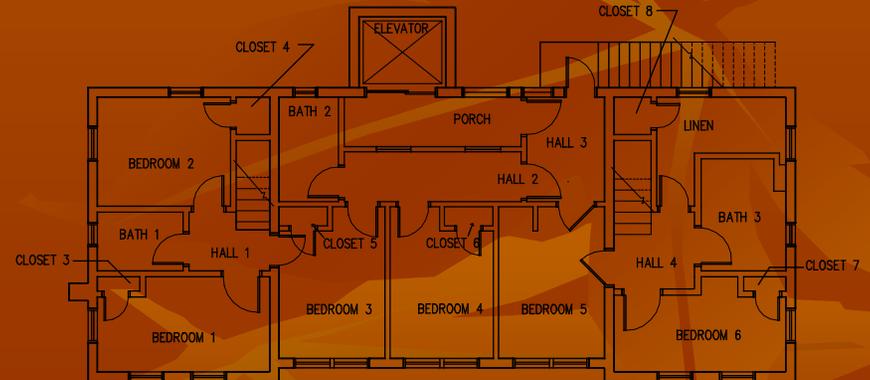
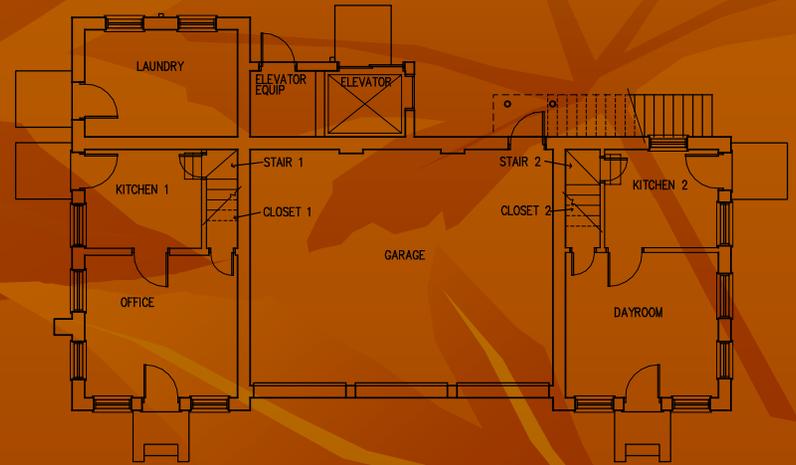
Building Use

- Original Use
 - When constructed in 1929 the building provided accommodations for the main house staff and a garage
 - Ground floor functions included a laundry, kitchens and living rooms and an electrical room
 - Upstairs were bedrooms and bathrooms and a screened entry porch



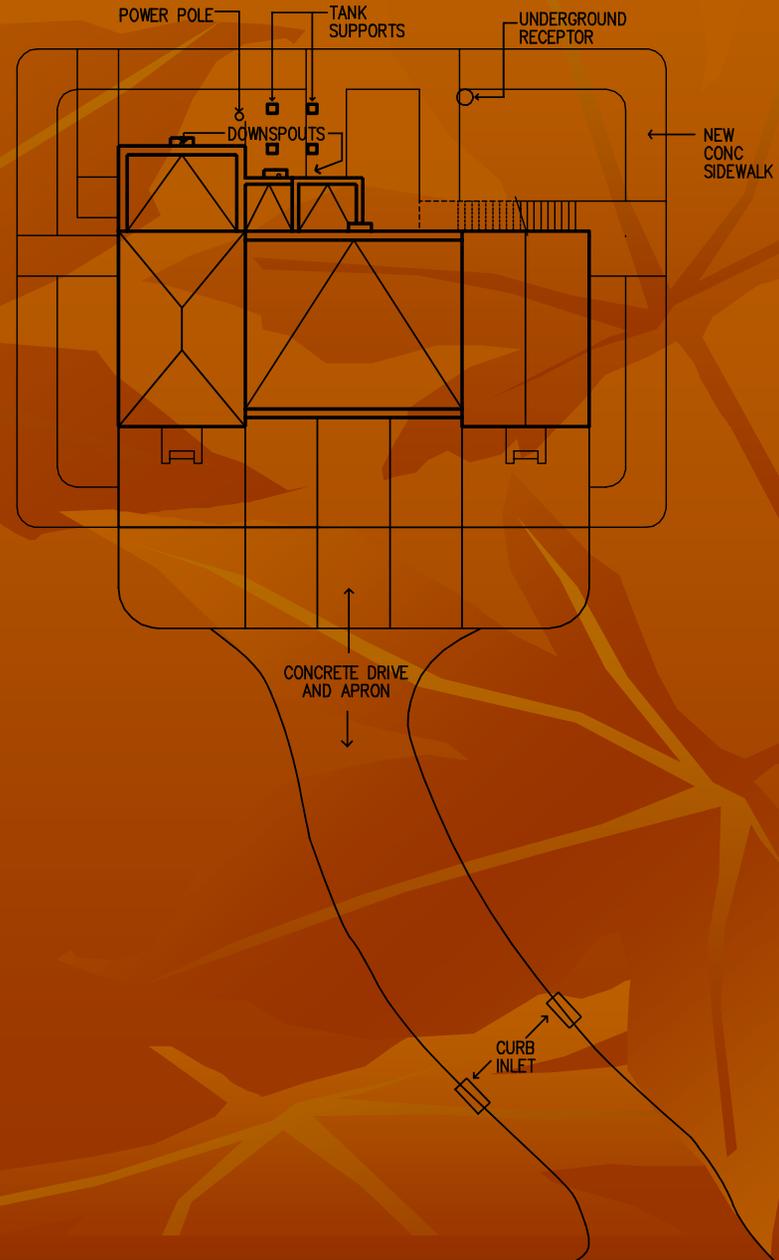
Building Use

- Future Use
 - The restored floor plan will maintain many of the spaces original functions and will be used to support the programmed activities at the main house
 - The ground floor will contain offices, and a kitchen and dayroom for visiting actors
 - The garage is planned to house a restored Crosley car
 - The second floor will continue to be used as originally, bedrooms and baths for visiting actors



Condition Assessment

- Process involves an analysis of each element of the building and site
- Condition of elements are determined and then the method to deal with the restoration of each element
- Site Elements
 - Drive and Apron
 - Concrete Stoops
 - Concrete Stair
 - Vegetation



Condition Assessment

- Building Exterior
 - Red Clay Brick and Red Clay Tile Masonry Walls clad with Portland cement stucco
 - Terra Cotta Medallions and Clay Tile Details
 - Doors and Windows
 - Clay Tile Roof and Built Up Asphalt Roof and Systems



Condition Assessment

- Building Interior
- Deterioration from the failure of the roof, windows and exterior doors
- Collapse of portions of the roof and floors
- Deterioration of the plaster walls
- Enough original fabric is present to determine what the original details would have been



Condition Assessment

- New Systems and Changes
 - Fan Coil System for Heating and Cooling
 - Control by individual users
 - Plumbing
 - Electrical
 - Elevator
 - Accessible Restroom



Exploring the Details

- Items to be restored or replaced are many and include:
 - Wood Trim and Moldings
 - Windows
 - Doors
- Finish, Door and Window Schedules in the Preservation Plan Report Detail the condition and suggested treatment for each item in every room



Code Analysis

- Building Code Issues
 - Structural System
 - Roofing
 - Impact Standards for Windows and Doors
 - Stairs and Railings
- ADA Code Issues
 - Elevator
 - Sidewalks and Ramps
 - Doors
 - Bathroom
- Electric Code Issues
 - Code Manadated Lighting, Emergency Lighting and Power Receptacles
 - Fire Alarm, Smoke Alarm and Exit Light Systems



Probable Costs

- There is a detailed breakdown in the report
- Phasing is done in order to work within allowable funds and state grant cycles
- Phase I secures the exterior of the building while ensuring that the Phase II work is provided for, as well as some of the site work
 - Phase I Cost \$281,600
- Phase II work will restore the interiors and provide new mechanical, electrical and plumbing as well as completing the site work
 - Phase II Cost \$ 593,665
- Grand Total Including Estimated Cost Escalation \$1,284.887



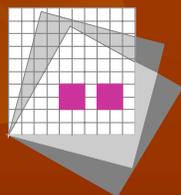
Question and Answer

- Question and Answer





Crosley Carriage House Garage and Servant's Quarters



Renker Eich Parks Architects
Historic Preservation
and Architecture